

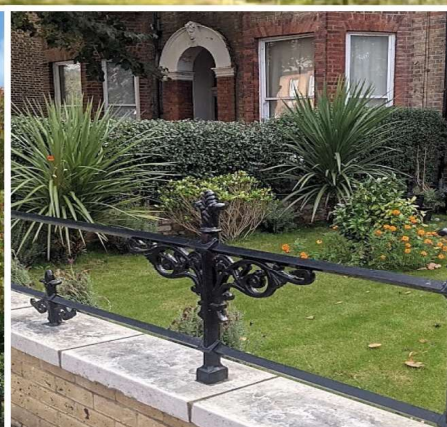
WE ARE CONSERVING.



DESIGN GUIDE



WE ARE NEWHAM.



WOODGRANGE CONSERVATION AREA

People at the Heart
of Everything We Do

1.0	INTRODUCTION	4	3.0	FRONT DOORS, DOORWAYS AND CANOPIES	17
1.1	What is a conservation area?	4	3.1	Front doors and doorway styles	18
1.2	History of the Woodgrange Estate	4	3.2	Front doors and doorway features	19
1.3	Is my property in the Woodgrange conservation area?	4	3.3	Tiling	19
1.4	What do I need planning permission for?	5	3.4	Glazing	20
1.5	What is this guide for and how do I use it?	5	3.5	Canopies	20
1.6	Design principles for planning applications	6	3.6	Altering or adding doorways	21
2.0	FRONT GARDENS	7	3.7	Porches	21
2.1	Front boundary walls, gates and railings	8	3.8	Rear doors	21
2.2	Side boundaries	10	4.0	WINDOWS	22
2.3	Paths, aprons and ramps	10	4.1	New and replacement windows	23
2.4	Hardstanding and electric vehicle charging	12	4.2	Stucco and artificial stone	24
2.5	Hard surfaces	12	4.3	Alternative rear elevation windows on extensions	24
2.6	Tree works	14	5.0	ROOFS	25
2.7	Artificial surfaces and grass	15	5.1	Roof design	26
2.8	Bike stores and bin stores	16	5.2	Roof dormers, terraces and balconies	26
			5.3	Roofing materials	27
			5.4	Gutters and downpipes	27
			5.5	Roof detailing, vents and flues	28
			5.6	Chimneys and chimney pots	28
			5.7	Solar photovoltaic (PV) panels and systems	29
			5.8	Roof lights	29

6.0 EXTENSIONS AND CONSERVATORIES 30

6.1	Rear extensions and conservatories – form, mass and scale	31
6.2	Side extensions – form, mass and scale	32
6.3	Rear extensions on terraced houses – form, mass and scale	32
6.4	Rear extensions – design and materials	33
6.5	Side extensions – design and materials	33
6.6	Conservatories – design and materials	35
6.7	Garage conversions	36
6.8	Subdividing properties	36

7.0 REAR GARDENS 37

7.1	Sheds and outbuildings	38
7.2	Side walls and garden walls	40
7.3	Hard surfaces	40

8.0 OTHER ELEMENTS 41

8.1	Brickwork	42
8.2	Render, painting, cladding and surface coverings	43
8.3	Satellite dishes	43
8.4	Meter boxes	43
8.5	Basements	44
8.6	Air source heat pumps	44
8.7	Retrofitting your home	44

9.0 APPENDICIES 45

Appendix 1: Map of Woodgrange Conservation Area	45
Appendix 2: Design content comparison: Altering and Extending Your Home SPD/Woodgrange Conservation Area Design Guide.	46
Appendix 3: List of trees suitable for small gardens.	48



1.1 What is a conservation area?

A conservation area is an area of special architectural character or historic interest, the character and appearance of which is desirable to preserve or enhance.

The preservation of a conservation area is managed by specific planning controls so that buildings and gardens continue to complement each other and maintain the aesthetic of the street.

People value conservation areas for their distinctiveness, visual appeal and historic character and research by the London School of Economics and Historic England has found that this value is reflected in the price of properties in conservation areas. In general, properties in conservation areas cost more and appreciate in price more than properties in other areas, even after adjusting for location and other factors.

1.2 History of the Woodgrange Estate

The Woodgrange Estate was built as a smart middle class Victorian suburb between 1877 and 1892. The houses were given a distinctive character and set in attractive surroundings. However, over the years, the area declined. Some properties were neglected, some subdivided and some were altered to the fashion of the time. This has diluted the special character of the area.

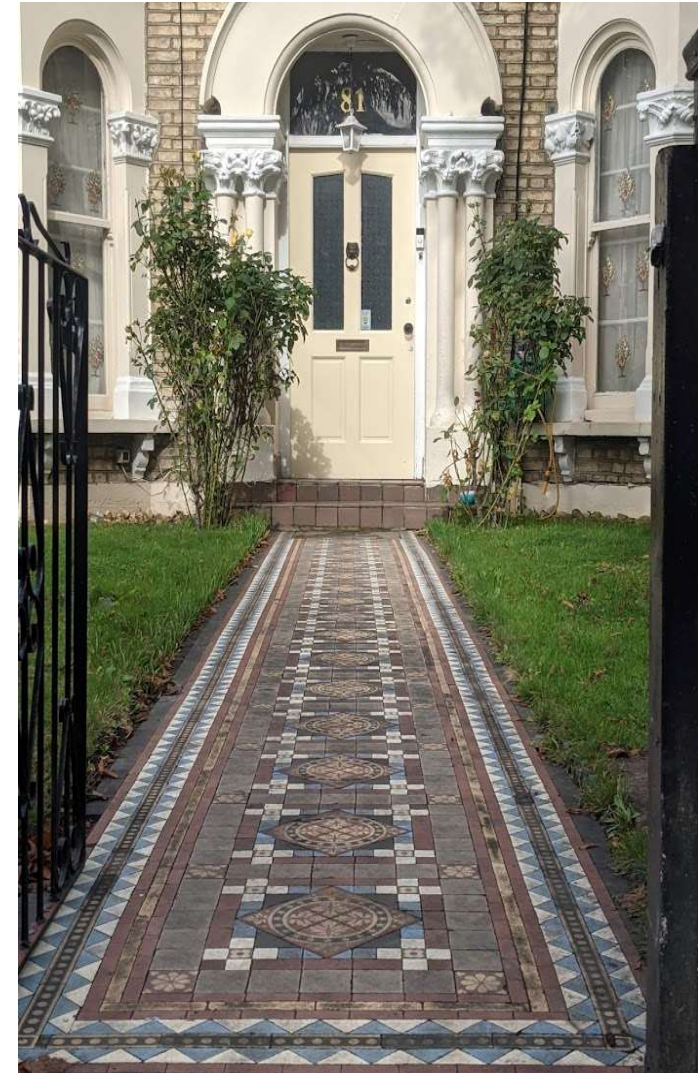
Local residents, concerned to arrest that decline and restore the appearance of their area, persuaded the Council to make the estate a conservation area. This was done in 1976 and additional planning controls introduced in 1977 (the Article 4 Direction). The Article 4 Direction for Woodgrange was updated in February 2018 to reflect current planning legislation. This can be viewed on the Council's website.

The Council continues to work with residents to preserve and enhance the quality of the area and its special character and appearance. This includes offering design advice on work to properties and trees, refusing planning permission for alterations that would spoil the character of the property and area and taking legal action against those who do such work.

1.3 Is my property in the Woodgrange conservation area?

Appendix 1 shows the Woodgrange Conservation Area Map. Properties located within the red outline on this map are in the conservation area and are subject to extra planning controls and considerations as set out in this Conservation Area Design Guide.

As a resident of a building within the Woodgrange Estate, it is your responsibility to adhere to the design controls of the conservation area.



A well preserved property in the Woodgrange Conservation Area

1.0 INTRODUCTION

1.4 What do I need planning permission for?

Planning permission is required for nearly all alterations that affect the external appearance of your home and garden. Before starting any work to your property, including works to trees, it is very important to get advice, do things properly and comply with the law. If you carry out unacceptable works or alterations, you may be made to demolish or change them at your own expense. You may also be taken to court and fined.

The Woodgrange Conservation Area Design Guide covers various aspects of property maintenance and modification. It advises on what works need – and will normally be given – planning permission.



A well preserved property in the Woodgrange Conservation Area

1.5 What is this guide for and how do I use it?

The Woodgrange Design Guide is a practical tool to help those who submit planning applications and apply for pre-application advice. The guide gives general advice on the type of work likely to gain permission. Please remember that this document is guidance only, with common acceptable and unacceptable examples given, and that your application will always be considered on its individual merits.

Planning applications will be assessed against at least one of the three design principles on Page 6. Planning applications must also meet the design aims set out in the chapter that is relevant to the proposal. Following this advice will help you devise an acceptable scheme and avoid the delays and extra cost of having plans amended or refused.

This guide should be read in conjunction with the Newham Local Plan: Altering and Extending your Home SPD for any proposed extension or changes to residential dwellings. However, for development within the Woodgrange conservation area, the guidance within this document will take precedence. In reaching a decision the Council must be cognisant of Section 72 of the Planning (Listed Buildings and Conservation Areas)

Act 1990, which requires it to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

Appendix 2 shows how the design content covered by the Altering and Extending Your Home SPD differs from the Woodgrange Conservation Area Design Guide. This information is useful to understand the relationship between the two documents and where there is additional, detailed and specific information in the Woodgrange Conservation Area Design Guide compared to the Altering and Extending Your Home SPD.

This guide cannot address every situation and if you are not familiar with the planning process, we recommend that you appoint a reputable or accredited professional to assist you. The Royal Town Planning Institute (RTPI) and the Royal Institute of British Architects (RIBA) provide details on their websites of all accredited professionals.

Matters relating to planning permission and conservation are dealt with by the Council's Development Management Service. If you require further assistance after reading this design guide, please contact the Planning Duty Service:

Duty Planning Officer:
duty.officer@newham.gov.uk

1.6 Design principles for planning applications

The three design principles on this page are key to a successful planning application and should underpin development proposals. These principles are used in the decision making process and applications will be assessed against some or all of the three design principles. Applications will therefore need to be guided by and apply the relevant principle(s).



A green front garden with the Woodgrange style front boundary wall and railings preserves the street scene character.

The conservation principle *Applicable to ALL planning applications*

The conservation principle comprises four aims:

- **Keep your historic property in good repair and well maintained.** Any necessary maintenance and repair works must be included in an application.
- **Retain and repair historic features** rather than replace or remove them in an application.
- **Efforts to restore and preserve the original character of the property will be looked on favourably.** Primarily seek to restore any lost original features, including landscaping features, in planning proposals.
- **Conservation as a part of sustainability.** Proposals should use sustainable materials, be of a sustainable design, and incorporate appropriate sustainability measures.

All applications will be assessed with these conservation aims in mind.

The street scene principle

The public realm, private front gardens and any street facing facades and roof slopes, are central in forming the distinctive character and identity of Woodgrange. Planning applications therefore must:

- **Prioritise the preservation and enhancement of the street scene.**

Proposals affecting the street scene are more tightly regulated. This makes Woodgrange more attractive for residents and passer-by's. It improves property values and preserves, and makes best use of, an important part of Newham's heritage.

The 'like-for-like' principle

If existing features of a property are beyond cost-effective repair you may wish to replace them with like-for-like replacements. Work that is considered like-for-like are those that:

- **match in materials, colour and surface finish (e.g. bricks)**
- **have the same dimensions;**
- **have the same pattern and detailed profile;**
- **replicate original details.**

What needs planning permission?

You will need planning permission for most alterations and new building works affecting the street scene. This includes:

- the construction, alteration or demolition of gates, fences, walls or railings;
- laying a hard surface (e.g. paths and hardstanding);
- making an access and crossover from the highway;
- all works to trees, with a few exceptions, because they are protected under the law. This requires that you must not cut or remove them until you have planning permission;
- the development of a bike store and/or a bin store.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Aims:

- 1. Prioritise the preservation and enhancement of the street scene.**
- 2. Preserving and reinstating the original garden appearance.**
 - a. Front gardens planted with lime trees, front and side boundary privet hedges, plants and grass lawns.
 - b. Front gardens enclosed by the original Woodgrange front boundary wall design.
 - c. Maintenance and reinstatement of the original Woodgrange gate and railings design.

Justification:

- To maintain a neat, green, attractive and unified street scene that defines the character of the area.
- Trees, hedges and lawns were a characteristic of the original design concept for Woodgrange and its leafiness remains one of its best features.
- To create a green natural surrounding that is a pleasing contrast to the hard materials of the buildings and streets.
- Planting supports nature by providing refuge and food for birds and other wildlife and can increase biodiversity.
- Trees attract wildlife, clean the air, help cut down noise and wind, provide shade, shelter and privacy.

2.1 Front boundary walls, gates and railings

The original Woodgrange front boundary walls, gates and railings are detailed in the diagram on Page 9. These features should be well maintained, preserved and reinstated where lost.

Must:

- All new or replacement walls to replicate the original Woodgrange design. Replacement walls should have piers that are 16 brick courses high and capped by a pointed over-sailing coping. Walls should include the railings although these may be omitted if sufficient planting (a hedge or shrubs) is provided and maintained behind.
- Walls to the street to be built in yellow London stocks irrespective of the colour of the front of the house. This is historically accurate and contributes to the creation of a consistent street scene. The weathered finish of second hand yellow stock bricks will best suit the estate's historic character. An acceptable alternative is a yellow stock with a darker colour, ash marks, and a rough texture.
- All new or replacement railings to replicate the cast iron railings originally used in Woodgrange. These comprise of decorative uprights (sometimes called

'butterfly' railings) linked horizontally by lengths of square section cross rail. They can now be cast in aluminium which is lighter. Railings should be traditional Victorian railing colours: black or dark olive green.

- All new and replacement pedestrian and vehicular gates to replicate the original Woodgrange design. These are a hallmark of the area. Progressive reinstatement helps enhance the area's distinctive character. Gates should be hung from original style metal posts.

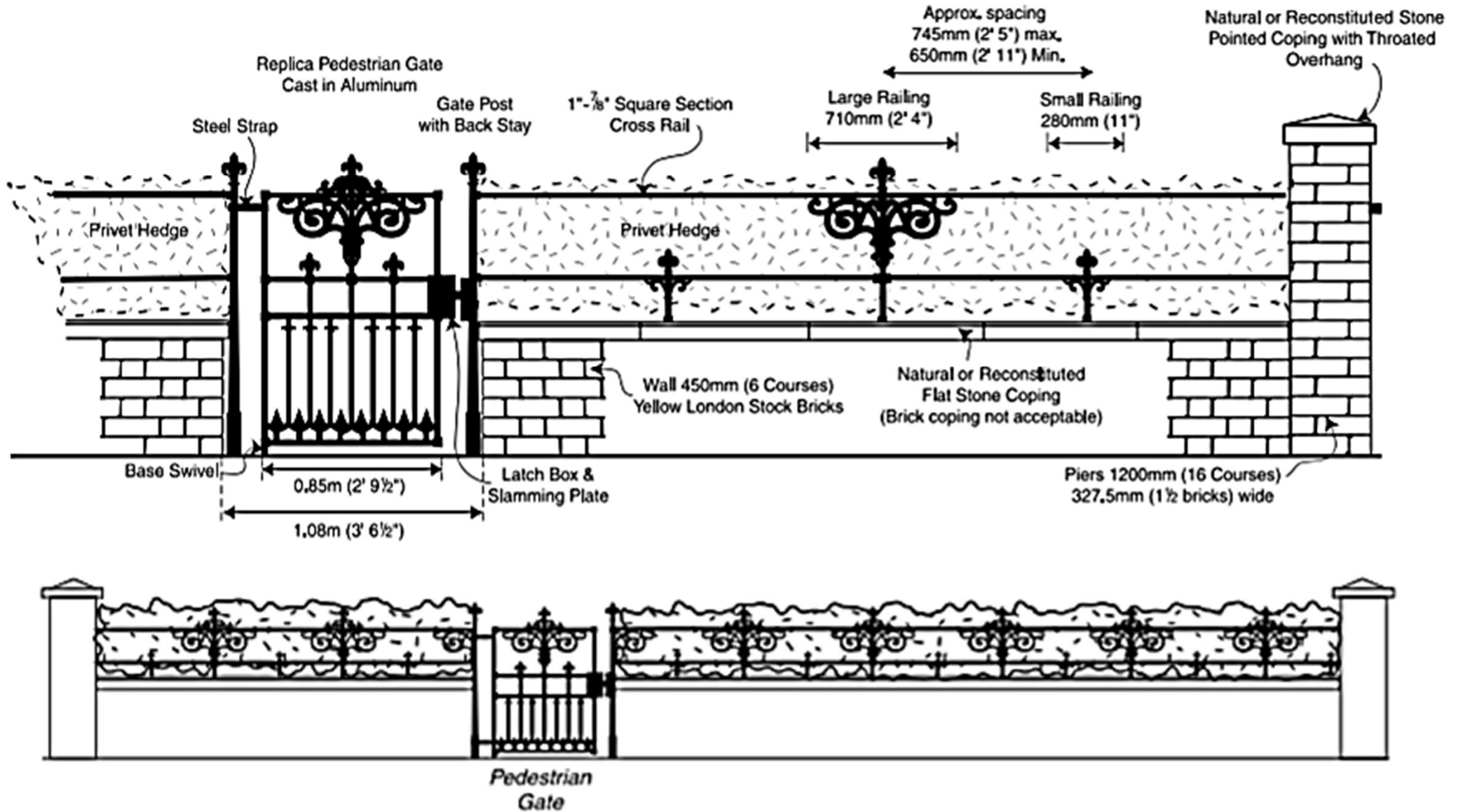
Not Acceptable:

- × Alternative and/or non-original Woodgrange front boundary wall, gate and railing designs. Different designs fail to restore, preserve and enhance the special character of the area.
- × Alternative brick types for walls. Brighter yellow bricks, those with a pinkish tinge, smooth finish or faced bricks are not acceptable. Such bricks will stand out too much and look new.
- × Alternative railing colours. Railings painted in bright, non-traditional railing colours will disrupt the unity of the street scene.



Woodgrange front boundary walls, gates and railings

2.0 FRONT GARDENS



The traditional Woodgrange front boundary wall, gate and railings.

Diagrams not drawn to scale

2.2 Side boundaries

The original Woodgrange front garden layouts are detailed in the diagram on Page 11. These front garden layouts should be maintained, preserved and reinstated where lost.

Acceptable:

- ✓ **Repairs, maintenance and restoration works** to preserve and enhance the appearance of an original side boundary. Side boundaries were originally marked by simple hooped wire fences and a hedge. These should be retained or replaced, if missing.
- ✓ **Alternative open lightweight boundary treatment that is unobtrusive.** This should combine hedging and shrubs.

Not Acceptable:

- × **New side boundary fences that are over 1.2 metres high.**
- × **New side boundary fences that are of continuous solid construction (e.g. block or brick walls or close boarded fences).**
- × **New side boundaries that involve the loss of a hedge.**

- × **Use of the Woodgrange front wall and railing design for side boundaries.** It is not historically accurate and makes the side boundary too prominent.

2.3 Paths, aprons and ramps

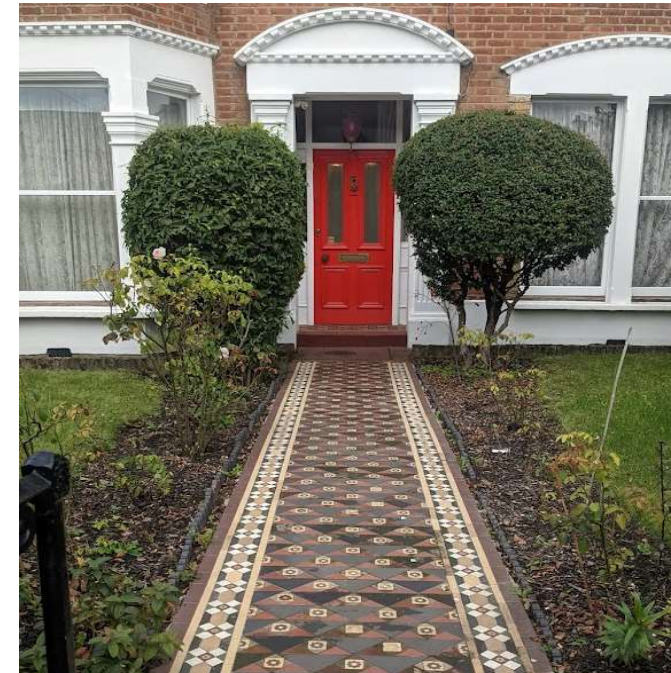
Acceptable:

- ✓ **Repairs, maintenance and restoration works.** The preference is to retain and repair original geometric and encaustic tiled paths. These special and attractive features enhance both the look and value of a property and are now very costly to reproduce. Replacement tiles are available.
- ✓ **Alternative 'like-for-like' path with a porous sub-base.** A cheaper tiled path can also be recreated using buff, red and black quarry tiles (approximately 10x10cm) laid in an alternating diagonal pattern. Frost and slip resistant tiles can be obtained.

Not Acceptable:

- × **No tiles to be laid over the aprons surrounding the house.** These should be kept as distinct, low key areas of concrete.
- × **Removal of coal hole covers and foot-scrappers.** These original items add interest and character and should be kept.

- × **The use of alternative materials for paths.** Paths should be tiled. Materials like block pavers, tarmac and concrete (except for concrete rope edging) are not supported for paths.

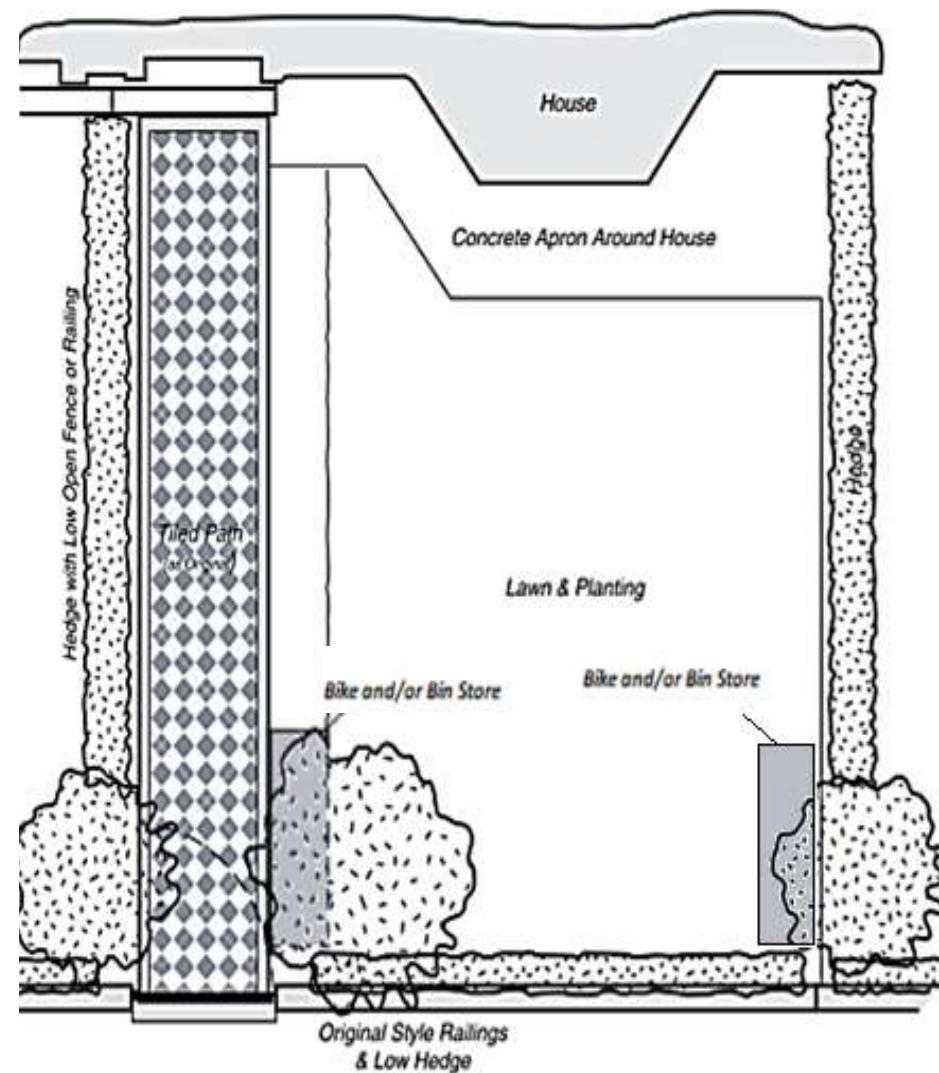
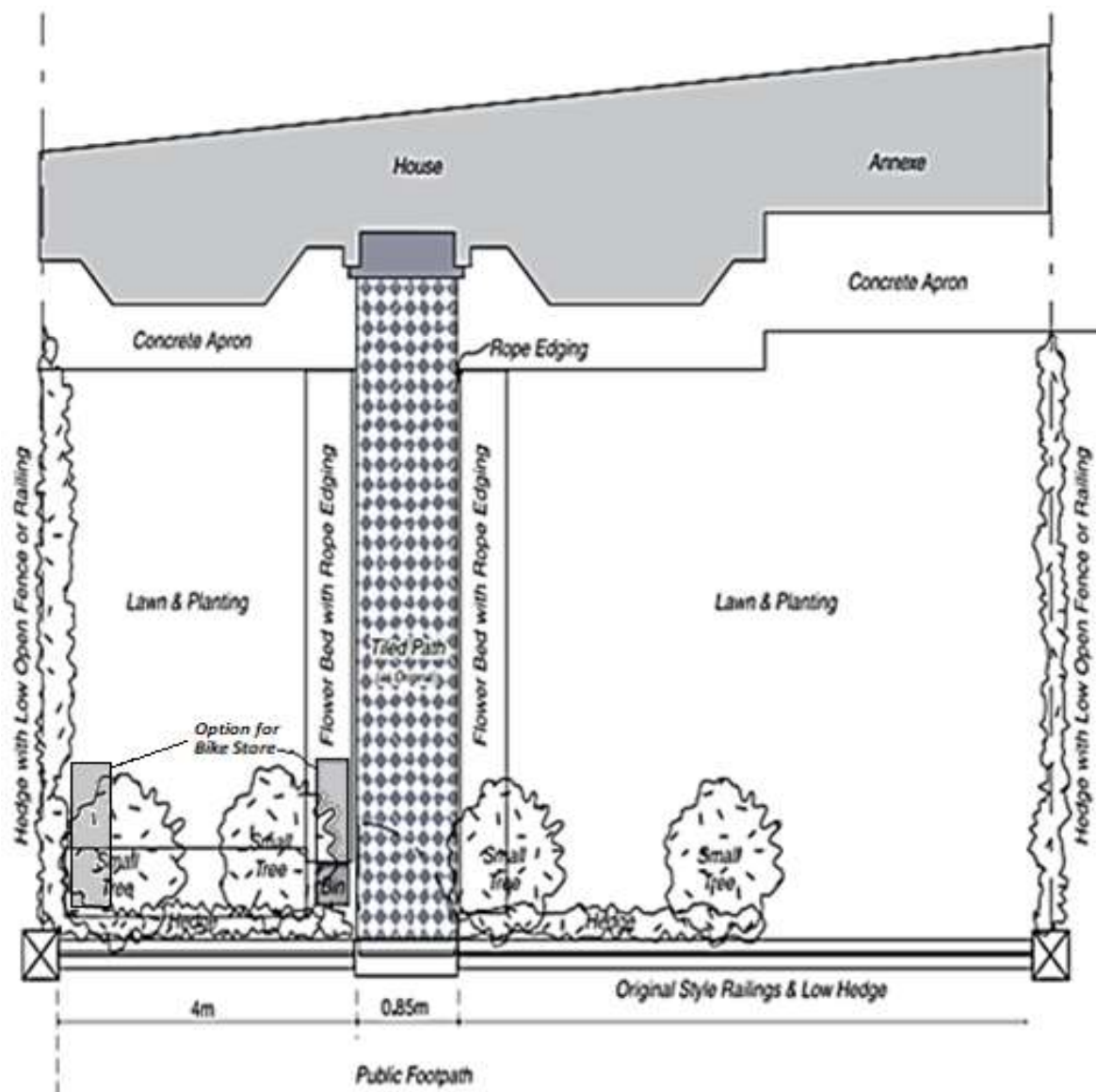


Traditional tiled path with rope edging



An acceptable side boundary

2.0 FRONT GARDENS



Typical front garden layouts for a triple fronted house (left) and single fronted house (right).

Diagrams not drawn to scale

2.4 Hardstanding and electric vehicle charging

Not Acceptable:

× **Permission will not be granted for the creation of a parking space (including for electric vehicles).** Following approval by the Council in July 2010 of the Design Guide for Borough Roads, there is a presumption against the creation of new carriage crossovers in residential streets. Unless there is existing forecourt parking and a crossover, charging of electric vehicles will need to take place on-street. Promoting active travel is a Council priority. Forecourt parking undermines the Council's conservation and sustainable transport ambitions by:

- Reducing the enclosure and greenery of front gardens.
- Reducing the space available for on street parking, which is efficient and flexible in terms of the amount of space taken up by parked cars, variations in car ownership between households, and variations in demand for parking at different times of the day.
- Harming the unity of the street scene and creating conflicts between vehicles and pedestrians.

- Detracting from the quality, safety and attractiveness of the pedestrian environment.

For all existing hardstanding's and crossovers, the Council will actively encourage improvements to the design and layout of front gardens, walls, railings and the introduction of soft landscaping in accordance with the diagram on Page 13.

Acceptable:

- ✓ **Improvements to all existing hardstandings and crossovers.** Resin bonded gravel, cobbles or natural looking stone setts, are recommended for hard surfaces and existing hardstanding.
- ✓ **Installation of a home charging unit, or Electric Vehicle Supply Equipment (where a crossover already exists).** This should be a single, compact and inconspicuous unit mounted in a location that has minimal visual impact on the street scene and property.



Improved hardstanding and front garden

2.5 Hard surfaces

Acceptable:

- ✓ **Hard surfaces should cover no more than one third of the front garden area.**
- ✓ **Hard surfaces should be paved and have a porous sub-base.**

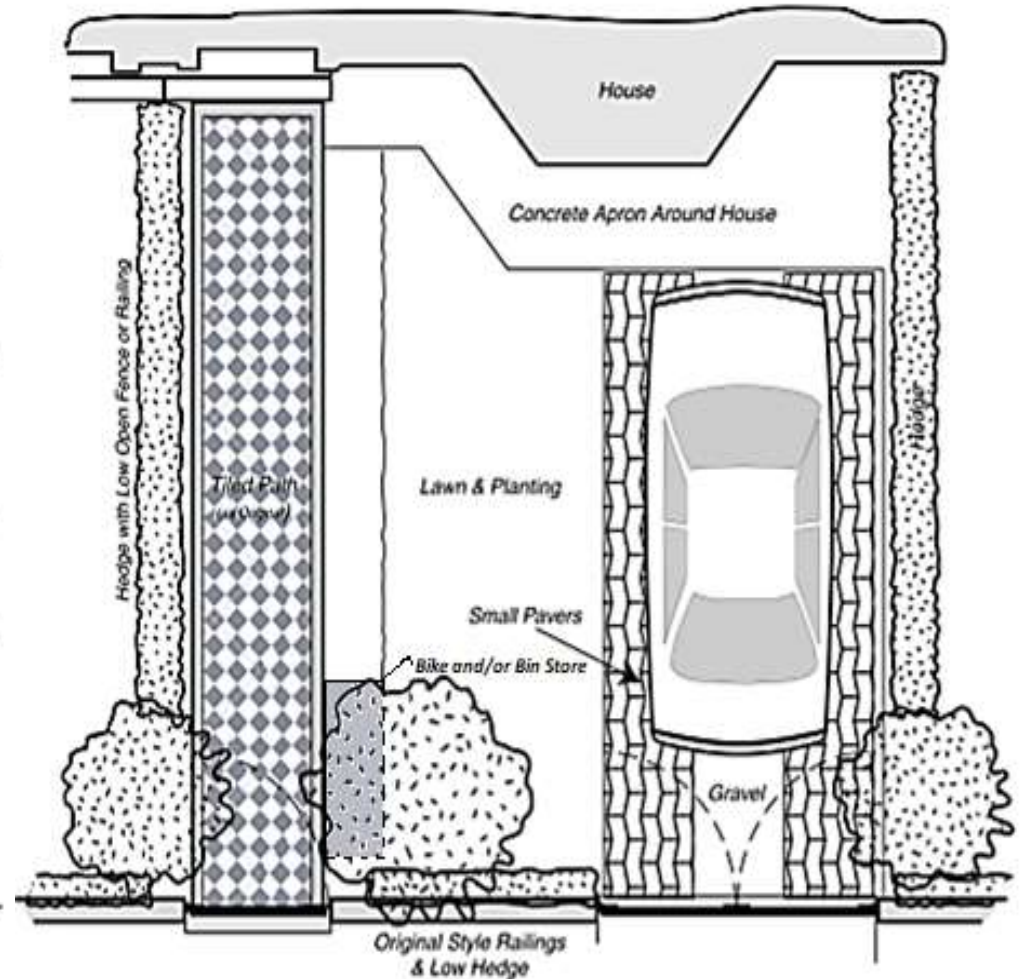
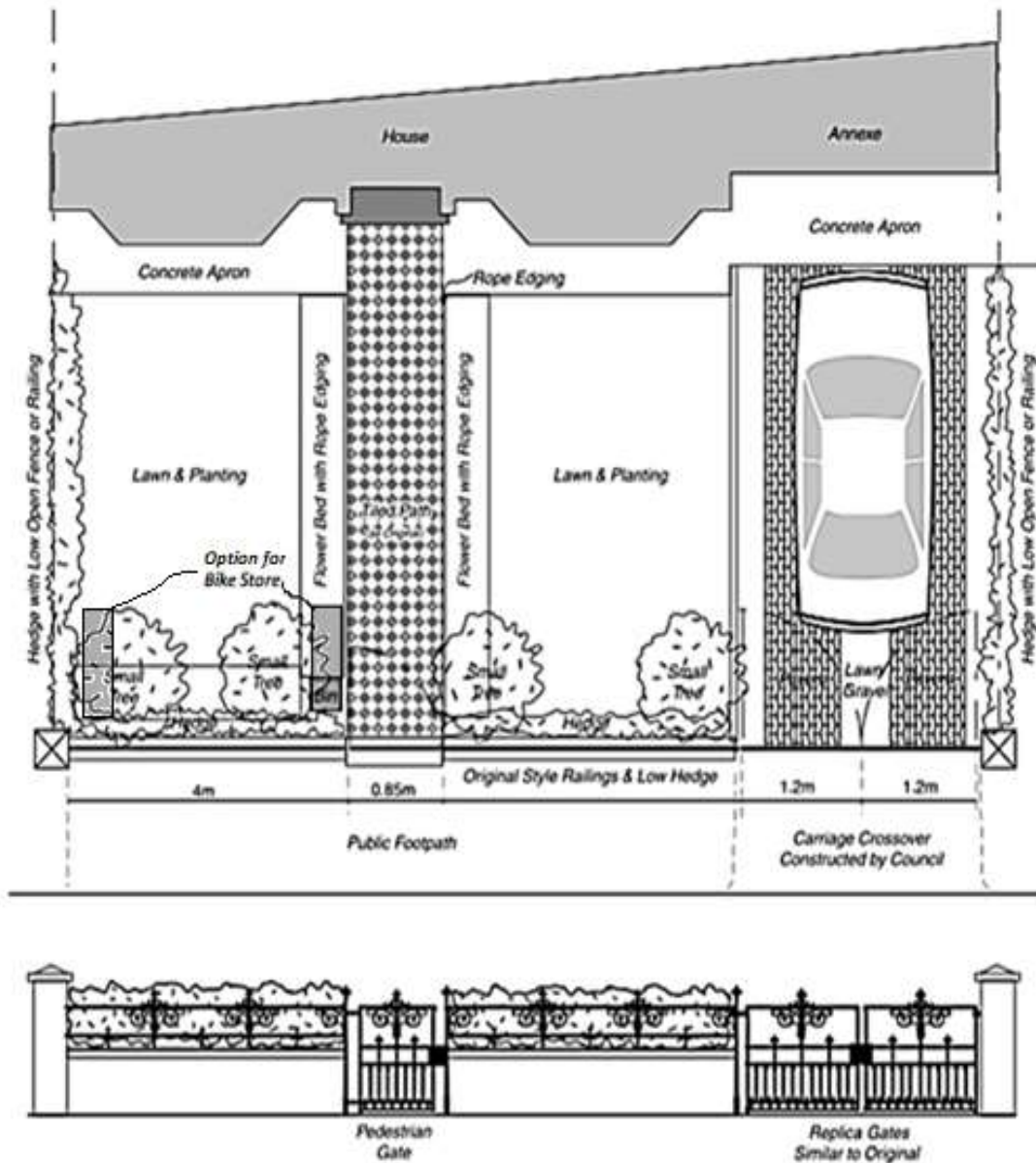


Natural looking stone setts

Not Acceptable:

- × **A net loss in biodiversity.** The proportion and amount of greenery lost should be accounted for and relocated elsewhere in the front garden.
- × **Modern looking paving or brightly coloured block paving.**
- × **The use of concrete other than for the apron and rope edging is not permitted as it does not allow rainwater to soak through.**

2.0 FRONT GARDENS



Recommended front garden layouts for car parking (where a crossover already exists) for a triple fronted house (left) and single fronted house (right).

Diagrams not drawn to scale

2.6 Tree works

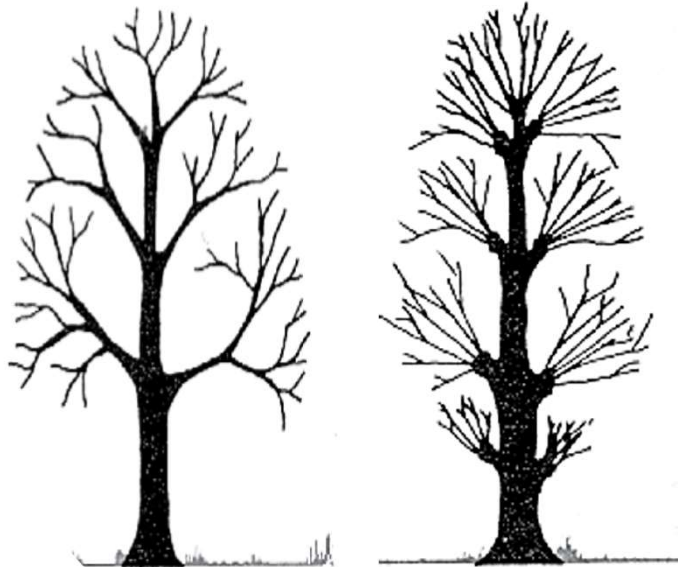
Acceptable:

- ✓ **Planting new trees and replacing lost trees.** Early photographs of the estate show that every house had a row of lime trees and a hedge planted just behind the front wall. Suitable trees should be selected based on the area available.
- ✓ **Appropriate tree maintenance works.**
- ✓ **The removal of a tree that would not be harmful to the character and appearance of the Conservation Area.**
- ✓ **Removal of a tree that has been agreed by the granting of planning permission for development.**
- ✓ **Permission to remove trees will normally only be given if a tree is in very poor condition and/or causing serious problems that cannot be rectified by lesser or other works.** This permission is on condition of a suitable replacement tree being planted.

If you are proposing to remove a tree because it is diseased, dying, dead, dangerous or causing an actionable nuisance, you must prove your case, with professional backing as required.

Not Acceptable:

- × **The removal or excessive reduction in size of a tree.** Only under some circumstances will it be acceptable. When it is considered acceptable to remove a tree, the planting of a new tree will be conditioned in the Decision Notice.



Careful thinning

Careless pruning

Advice on tree planting, care and suitable species can be found on the Arboricultural Association website:

<https://www.trees.org.uk>

The Royal Horticultural Society lists suitable trees for gardens on their website:

<https://www.rhs.org.uk>



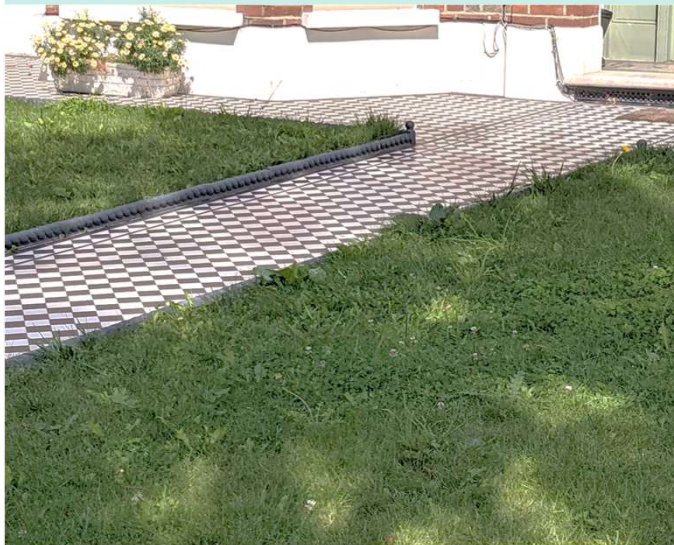
Trees were a characteristic of the original design concept for Woodgrange

See Appendix 3 for a list on trees suitable for small gardens. These trees will also be appropriate for planting in rear gardens.

2.7 Artificial surfaces and grass

In general, the laying of artificial surfaces such as artificial grass or synthetic turf, constitutes 'development'. Therefore it requires planning permission.

Artificial grass or synthetic turf requires a properly constructed base and sub-base, to ensure the stability of the final surface and avoid frost heave. This preparatory stage usually entails some degree of excavation and the importation and spreading of materials. The surface and the base layers can take different forms, but often they are less porous than the natural grass that they replace, which may give rise to drainage issues.



A front garden with grass lawn

Not Acceptable:

- × **The construction of artificial surfaces such as artificial grass or synthetic turf.** Such artificial surfaces are uncharacteristic of Woodgrange and fail to preserve and reinstate the original Woodgrange garden appearance. Moreover they do not have any biodiversity value and have negative environmental impacts.



Front garden with hedging and grass lawn

Acceptable:

- ✓ **The removal of artificial surfaces.** The Council will actively encourage improvements to the design and layout of front gardens and the introduction of soft landscaping in accordance with the diagram on Page 13.

2.8 Bike stores and bin stores

The Council strongly encourages and supports active travel. Active travel plays a key role in improving the borough's air quality and increasing the health and wellbeing of all residents.

The diagrams on Page 11 and 13 show a choice of two acceptable locations for bike and bin stores in front gardens. The best option should be chosen to suit the layout and function of the front garden.

Acceptable:

- ✓ **A suitable size and scale.** A width of 1m and height of 1.5m is recommended.
- ✓ **A flat green roof.** A flat green roof has a lower profile than a ridged roof and softens the appearance of the structure. This can make it less obtrusive.
- ✓ **Perpendicular to the street and positioned along the side boundary or alongside the front path.** Consider how a bike store and/or a bin store will relate to the front garden. It should be in the best position in the garden not only for your ease of access but also to minimise intrusion to both the neighbours' views and those of the passing public from the street.

- ✓ **Constructed from traditional and sustainable materials.** This includes timber (stained or painted) and a sedum/green roof.
- ✓ **Appropriate and traditional paint colours.** In Victorian times exterior woodwork including doors were often painted Bronze Greens, Brunswick Greens and Purple Brown.
- ✓ **The use of plants to soften and screen a bike store and/or a bin store from the street scene.** Existing trees, planting and hedges should be a factor in deciding on the best location for a bike and bin store so that it is screened and less visible from the street.
- ✓ **Integration with the front garden.** The colour, design and scale of a bike store and/or a bin store should complement the front garden.

Not Acceptable:

- × **Coloured wood stains and paints that look too conspicuous or garish.**
- × **Designs that are excessive in size, have dual pitched roofs, use inappropriate materials, and are inappropriately positioned in prominent locations.**



A high quality dual bike and bin store



Bike store positioned along the side boundary

What needs planning permission?

Planning permission is needed for most alterations and new building works affecting the outside of your house. This includes:

- altering the style or materials of your doors or doorways;
- constructing and forming new doorways;
- filling in or adding a porch;
- the construction, alteration or demolition of a canopy.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Note:

- **This chapter mostly relates to front doors and doorways. A separate note is provided for rear doors on Page 21.**

Aims:

- 1. To preserve and enhance distinctive styles of doors and doorways.**
- 2. To restore distinctive styles of doors and doorways.**
- 3. To maintain the original position and size of doors and doorways on front elevations.**
- 4. To protect the character of the street scene.**

Justification:

- The different styles of doors in Woodgrange are part of the historical development of the area and it is important that doorways are kept, or restored, to their original design.
- Doors are a main feature of the front of Woodgrange houses. Each design of doorway was chosen to complement the style of the rest of the house. Their size and position are related to create a balanced appearance, with the door as the focal point. Changing a doorway position or design can thus upset this composition.
- Doorways are prominent features on the estate. An appropriate style and proper upkeep creates a good impression.

3.1 Front doors and doorway styles

Acceptable:

- ✓ **Repair, restore and keep the original front door and doorway design and detail. Designs include:**

- **The timber, four panelled, half-glazed door.** It is one of the area's characteristic original features and so all replacement doors must be of this design. Different designs are not allowed as they do not suit the architectural style of the houses and would contribute to the erosion of the area's character. Replacements have to be purpose-made by a specialist door company or joiner. It is therefore wise to keep originals well maintained and see if a joiner can repair damage rather than buying new.
- **Two pairs of French doors on the front façade, usually in conjunction with a canopy (where properties are of this type).** Their slender timber glazing bars and frames lend an elegance to the elevations. Because they are a distinctive aspect of these houses they must be retained on all front elevations. All replacements must exactly match the original and be in painted timber.

- ✓ **Appropriate and traditional paint colours.** In Victorian times exterior woodwork including doors was often painted green, including Bronze Greens, Brunswick Greens and Purple Brown.

- ✓ **Ramps must be capable of subsequent removal when no longer required.** This avoids the need for permanent alterations and construction works in concrete.



A removable ramp

Not Acceptable:

- × **Visible security lights and alarms.** These should be sited discretely.
- × **Adding to, modernising or changing the design of a front door and doorway.**
- × **Narrowing front door openings so that a smaller door can be used.**



Traditional front doorway styles

3.2 Front doors and doorway features

Acceptable:

✓ **Repair, restore and keep original door features. Features include:**

- **Original letterboxes, numbers and door knockers.** If missing, new ones should be substantial items in brass or dull black iron.
- **Keystones.** A feature of Woodgrange houses, reproductions can be obtained for reinstatement work.
- **Fanlights.** Glazed fanlights were placed above all doors to light the hall. Some retain the original house name.
- **Doorcases.** In later properties the door is set within a surrounding case, usually of glass and timber.
- **Stucco.** A stucco arch is a common feature on the estate with stucco keystones and console brackets. Damaged stucco can be repaired using a similar cement/lime/sand mixture. Replica items can be made up by specialist companies for restoration or new work. Traditionally stucco was either left unpainted or painted to resemble stone.

- **Moulded brickwork and panels of floral design.** On some later properties as the estate developed, brick is seen rather than stucco.

Not Acceptable:

- × **The unnecessary removal and loss of original door features.**
- × **Painting stucco in vibrant and bright colours.** They can over-emphasise these features and look garish.
- × **Keystones must not be disfigured or removed.**



Stucco



Sculpted keystones

3.3 Tiling

Acceptable:

✓ **Repair, restore and keep original tiling.** Reproduction tiles can be obtained for restoration work. Some patterns may also be repaired by piecing in standard tiles or by obtaining suitable replacements from salvage. Features include:

- **Tiled front steps.** Some front steps are covered with small black and white tiles, others with encaustic tiles, where a pattern of coloured clays is inlaid into a base tile.
- **Highly glazed and coloured tiles** often with 'Art Nouveau' motifs in relief. These became popular towards the end of the nineteenth century and enhance the porches of some of the later houses on the estate.

Not Acceptable:

- × **Replacement modern tiles.**
- × **Adding tiles where they would not traditionally have been placed, e.g. on concrete areas around front bays.**

3.4 Glazing

Acceptable:

✓ **Repair, restore and keep original glazing.** Most street doors and sometimes the surrounding door case are enlivened by decorated glass. Some glass has survived two World Wars and it is a great pity when its value is not recognised and it is destroyed. There are two main types:

- **Leaded lights.** Small pieces of coloured glass are carried in lead strips. The Victorian designs derive either from the 'Arts and Crafts' or 'Art Nouveau' styles and are appropriate styles for replacement lights. Leaded lights of other periods, mainly 1920's and 1930's, are also found on the estate and should be kept as valuable in their own right.
- **'Etched glass'.** Either sandblasted or acid-etched to produce a frosted glass with a pattern, sometimes bevelled, through which callers may be seen. Coloured glass remains in some back doors where it forms side panels, called 'margins'. These are often red and blue, with starburst patterns in the corner. Replacement panels can be obtained and originals should be kept.

Not Acceptable:

- × **Poor and low quality glazing imitations.** These will not look authentic or enhance the traditional qualities of these properties.

3.5 Canopies

Acceptable:

- ✓ **Repair, restore and keep original glazed canopies.** Glazed canopies are one of the most distinctive features of Woodgrange and must be kept. The appearance and value of a house will be enhanced by restoration of a missing canopy. Replicas of the cast iron valancing can now be obtained in cast aluminium, and replica posts can also be made. All new glazing should be in safety glass with glazing bars in timber or white finished aluminium.
- ✓ **Repair, restore and keep original decorative tiles under canopies.** Remaining tiling should be kept in good repair while the replacement of lost or damaged examples would help preserve the character of your house. Normally these would be cream and red quarry tiles laid in an alternating diamond pattern. Frost and slip resistant replacements are readily available.

Not Acceptable:

- × **Rebuilding or altering a canopy without planning permission.** Canopies in disrepair must be made safe, e.g. by propping, but their removal is not acceptable.
- × **Using modern tiles under canopies.** Modern tiles will detract from this feature.



Traditional canopy design

3.6 Altering or adding doorways

Not Acceptable:

- × **Altering doorway positions or adding new ones that would be visible from the street.** This upsets the balance of the facade and the relationship of doors to the original layout inside.
- × **Removal of unused annexe entrances.** Unused annexe entrances must still be kept but can be blocked internally. This preserves the outside character and allows for easy reinstatement at a later date if required.

3.7 Porches

Not Acceptable:

- × **Front additions and porches.** They introduce obtrusive elements inconsistent with the style of these houses.
- × **Enclosing a porch by placing a door in front of the position of the original door.** This destroys modelling, hides original detail and is not permitted. Draught lobbies can be created internally without this effect or the need for planning permission.

3.8 Rear doors

Acceptable:

- ✓ **Repair, restore and keep the original timber French rear doors.** These should be retained to preserve the character of your home and area. Problems like draughts can often be cured by overhauling and weather-stripping and repair. Replacements should be to the original design or similar.
- ✓ **Alternative French rear doors.** If alternative materials are proposed, rear French doors should still have four panels and be of exterior quality.
- ✓ **Alternative rear door styles.** Modern alternatives such as bi-folding doors and larger patio doors may be acceptable if they are slimline and of a high material quality and design. Proposals must complement the external appearance of the property.
- ✓ **Appropriate and traditional paint colours.** In Victorian times exterior woodwork including doors were often painted green. This included Bronze Greens, Brunswick Greens and Purple Brown.



A new timber four panelled half-glazed door

What needs planning permission?

Planning permission is needed for most alterations and new building works affecting the outside of your house. This includes:

- Replacement windows;
- altering the style or materials of your windows;
- changing window openings;
- adding new windows.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Note:

- **This chapter mostly relates to original and street facing windows. A separate note is provided for alternative rear elevation windows on Page 24.**

Aims:

- 1. To preserve and enhance the original appearance of timber sliding sash windows.**
- 2. To protect the character of the street scene.**

Justification:

- Windows have a significant effect on the appearance of a house as they are the largest external feature. In Woodgrange, window openings have a vertical emphasis (taller than they are wide). They give each style of house its own special appearance. Keeping these original characteristics or replacing to match will ensure the character of the area is protected.

4.1 New and replacement windows

Acceptable:

- ✓ **Repair, restore and keep original timber sash windows.** They can be upgraded by a thorough overhaul that ensures they run, close and fit properly and also be fitted with a complete draught proofing system that improves security and allows each sash to be swung out and cleaned from inside the house. Alternatively heat loss can be significantly reduced by fitting secondary glazing inside the frame. It may also be possible to install double-glazed units within the existing timber sliding sashes.
- ✓ **All replacement windows, whether replacing sashes or not, should be double-hung sliding sashes detailed to match the original style.** The preference is for replacement sash windows to be in timber. However UPVC sash windows will be considered acceptable where it can be demonstrated that there will be no discernible difference to original timber sash windows. UPVC sash windows are now available that closely replicate the proportions and detail of original timber sash windows. Details such as the deep bottom rail, slim mid rail and run through horns, are essential in order to replicate the appearance of original windows.

- ✓ **Planning applications for replacement windows must provide full specifications of the proposed product and detailed (e.g. 1:20), annotated drawings to provide the necessary assurances about quality.**
- ✓ **Existing window openings should be retained and new window openings should reflect the shape, scale and details of originals.** The shape and position of window openings and bays are integral to the character of these houses and should be reinstated and retained.
- ✓ **Window surrounds.** Retain the style of window surround particular to your property and reflect this in new work. The earlier houses have simple rendered or brick reveals and lintels with stone cills. Do not use timber for cills. The later houses have half hexagonal bays, pilasters, capitals, and other ornament.
- ✓ **Window details and glazing.** A few houses retain original blind boxes and balconette railings. These are fairly rare 'antiques' that should be kept. Reinstating them can add character to your home. Other details like lintels, corbels and moulded brick panels should be kept and recreated in new work to match existing. Patterns added to glazing do not suit the character of these houses.

- ✓ **Landing Windows.** These are very special features and should be retained whenever possible. Many landing windows have margins of coloured glass (usually red and blue) with stars in the corners. Others contain leaded lights. Both can be repaired or replacements made up. Avoid altering this feature when building a rear extension.

Not Acceptable:

- × **Any multi-pane 'Georgian' windows, 'bow windows', 'tilt and turns windows' and 'louvre windows'.** Using other styles of window is inappropriate historically and conflicts with the original architectural style of these houses.
- × **Windows with different opening styles and projections on the front elevation.** Noticeable differences in their appearance become very evident when they are open. The outward projection disrupts the line of the house front and harmony of the street scene.
- × **New window openings on the front elevation.** These can upset the balance of the facade. Changes to the internal layout of buildings which demand the creation of new window openings should therefore be avoided.

4.0 WINDOWS

4.2 Stucco and artificial stone

Acceptable:

- ✓ **Repair, restore and keep original stucco window surrounds, cill bands, keystones and console brackets.** Small repairs can be made in a similar mortar mix. Replica items can be made up by specialist companies for restoration or new work. Traditionally, stucco was unpainted or painted to resemble stone. Today, stucco can be painted in pastel shades.

Not Acceptable:

- × **Painting stucco in vibrant and bright colours.** They can over-emphasise these features and look garish.



Half hexagonal bay with pilasters, capitals, and other ornament



Double-hung sliding sash windows

4.3 Alternative rear elevation windows on extensions

Acceptable:

- ✓ **Alternative rear elevation windows on extensions only.** Designs should compliment the traditional Victorian character of the estate. A high quality traditional or contemporary design will be acceptable. Significant alterations to rear window openings should be avoided.



Traditional balconette railing



Traditional window blind box, rendered lintel and corbel 24

What needs planning permission?

Planning permission is needed to:

- change a roof and roof materials;
- to alter or remove chimneys;
- to change and develop other roof details.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Note:

- **This chapter relates mostly to original roofs on the dwellinghouse and annexe. Roofs to extensions and conservatories are detailed in the ‘Extensions and Conservatories’ chapter.**

Aims:

- 1. To preserve and enhance original roof characteristics.**
- 2. To ensure new and altered roofs match the shape, covering materials and details of existing roofs in the area.**

Justification:

- To protect the architectural roof styles that form part of the character of Woodgrange.
- To preserve the street scene.

5.1 Roof design

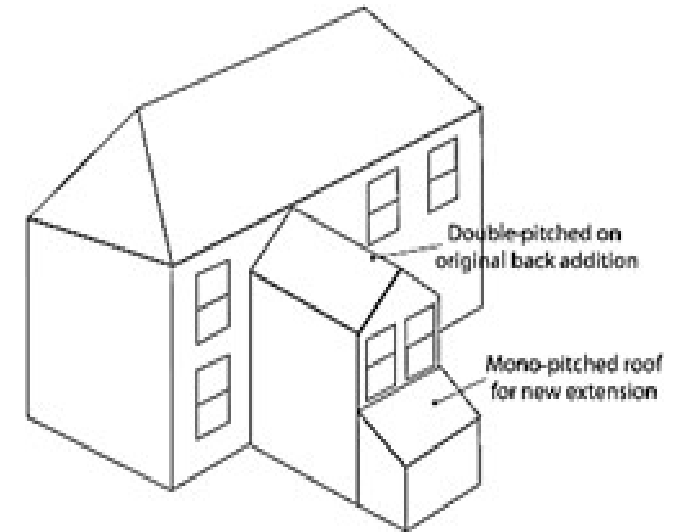
Acceptable:

- ✓ **Pitched roofs.** These are the most common form of roof, and a characteristic of the estate. Other roof types in Woodgrange include:
 - **Terraced houses in the estate share common pitched roofs that are hipped at each end.**
 - **Hipped roofs.** Seen on larger earlier houses, the shape emphasises their symmetrical and detached appearance.
 - **A lower duo-pitched roof.** The lower pitch reflects the subservient status of the annexe, relative to the main house.
 - **Bay windows with bonnet roofs.** Some houses have single storey bay windows topped by cast concrete bonnet roofs. In later years two storey bays became more popular. Most are found in the later, eastern end of the estate. These have small half-hexagonal roofs.

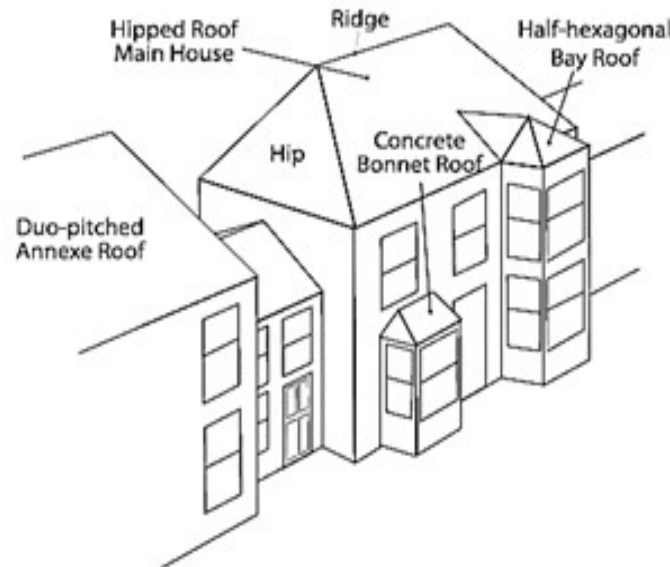
5.2 Roof dormers, terraces and balconies

Not Acceptable:

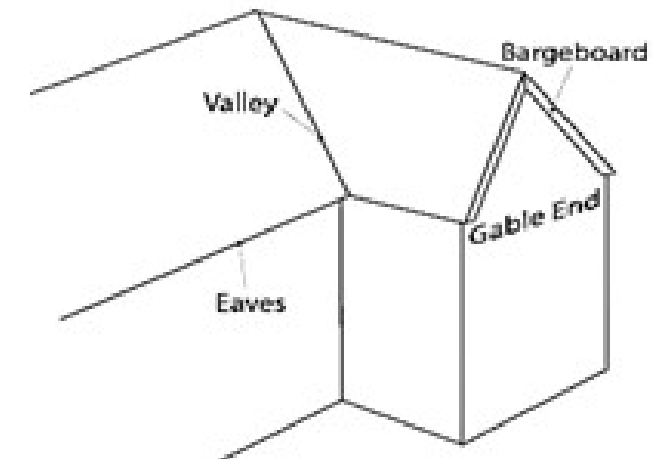
- × **Dormers.** Dormers are alien to the style of Woodgrange houses and would disrupt their architectural balance, the original roof form and the street scene.
- × **Roof terraces and balconies.** Such features compromise a neighbour's privacy and outlook. They would also introduce a feature not characteristic of the estate.



Rear extension roof designs



Common roof designs



Property with a gable end

5.3 Roofing materials

Acceptable:

- ✓ **Slate roof tiles.** Natural slate best replicates the original character of the roof. All main roofs were originally covered in Welsh Slate. Its thin, matt, dark grey, flat, precise appearance is a key characteristic of the estate. Ideally all new roof coverings, whether replacing slate roofs or not, should be in natural slate. Cost can be reduced by re-using some of your existing slates and supplementing them with good second-hands.
- ✓ **Artificial slate roof tiles with a riven finish.** These provide the next best match to natural slate and can be used for re-roofing. Those made from reconstituted slate tend to have a matt finish like natural slate which is preferable. Select a riven finish and crimped edges to copy the features of natural slate.

Not Acceptable:

- × **Concrete tiles.** Concrete tiles differ from slate in weight, thickness, scale, texture and colour. Even the flat grey type do not look sufficiently similar. Note also that concrete tiles are much heavier. If applied to a previously slated roof that has not been strengthened the roof may sag or collapse.

- × **Roof sealants.** They alter the look of the roof and can split and leak over time because all roofs move (for example with seasonal changes). Sealants also render your slates useless for salvage and re-use.

5.4 Gutters and downpipes

Acceptable:

- ✓ **Cast-iron gutters with an ogee profile.** These are present throughout the estate and are a special feature of Woodgrange. Replacements can be obtained from specialist firms and salvage companies. However aluminium will also successfully replicate the look if finished in matt black.
- ✓ **Black downpipes.**

Not Acceptable:

- × **Half-round profiles and grey plastic rainwater goods.** These look modern and not in keeping with the character of the estate.



Natural slate roof tiles



Artificial slate roof tiles



Concrete roof tiles - not supported

5.5 Roof detailing, vents and flues

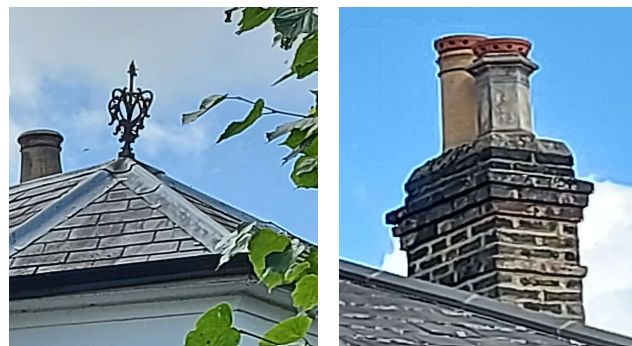
Acceptable:

- ✓ **Flashings.** Use a traditional lead sheeting (called 'flashing') to cover the joints between roof slates and brickwork.
- ✓ **Ridge tiles.** These should normally be either a smooth, dark grey, angled tile or a red, semi-circular tile depending on the particular style of the house. Look at others close by. Lead Rolls should be used on the ridges of small bay roofs. These make a fine, lightweight join appropriate in scale to this small feature.
- ✓ **Cast iron or terracotta finials and bargeboards.** Some houses retain these features which are both a visual and practical method of finishing a roof. Keep or restore all such small details as they give a house its individuality. Romford Road on the edge of the conservation area has some of the largest houses with elaborate roofs incorporating gables, barge boards and finials.

Not Acceptable:

- × **Non matching and large ridge tiles.**
- × **Cement fillets instead of flashing.** Cement fillets, although initially cheaper, soon crack, letting in moisture.

- × **Roof vents.** These look modern and disrupt the smooth plane of a roof. Eaves ventilation to both sides of a roof will normally suffice.
- × **Flues visible from the street scene.** Examples of flues include for a water heater, boiler, or generator. All flues should be best located to not impact on the street scene. Black or dark flues which mimic the appearance of cast-iron are encouraged.



Roof detailing, chimney and chimney pots

5.6 Chimneys and chimney pots

Acceptable:

- ✓ **Retention of chimneys.** Chimneys enliven the skyline and are a reminder of the Victorian history of the estate. Their position shows how the house was laid out inside and functioned.
- ✓ **Preservation and maintenance of chimneys.** It may be necessary to rebuild part of the brickwork and improve internal ties so that the chimney can be rebuilt and retained. Where mortar joints are crumbling, re-point the brickwork.
- ✓ **Preservation and maintenance of chimney pots.** Re-bed any loose pots and keep the buff coloured pots, which are a special feature of Woodgrange. Suitable new and salvaged pots are available.

Not Acceptable:

- × **The removal (capping off) or lowering of stacks that can be seen from the street.** Chimney breasts and brickwork flues must not be removed except in accordance with the Building Regulations and the new Party Wall Act 1996. Serious structural and legal consequences can result from ignoring this advice.

5.7 Solar photovoltaic (PV) panels and systems

Responding to the climate emergency is a Council priority. PV panels on roof slopes will be supported where the visual impact is minimised through siting, design and specification. The preference is for these to be positioned on rear roof slopes, although it is recognised that for many properties, PV's will need to be placed on street facing roof slopes to work effectively.

Acceptable:

- ✓ **Located on street facing roof slopes.**
- ✓ **Solar panel tiles or invisible wire, black framed, black backing sheet solar panel designs must only be used.** The black frame makes the panels look less conspicuous on the roof. Solar panels with hidden wires blend in better with roof tiles.
- ✓ **Equipment should not protrude more than 200mm from the roof.** On slate roofs, the roof anchors again fix to the rafter below, but a proprietary clamp or lead flashing component is required to weather-proof the penetration through the slates. Slates should not be drilled through under any circumstances.

- ✓ **Be sited to minimise their effect on the external appearance of the building.** Panels must be arranged symmetrically in a neat grid and evenly spaced between chimneys, and the ridge and eaves to create balanced coverage of the roof.
- ✓ **Are removed as soon as reasonably practicable when they are no longer needed.**

Not Acceptable:

- × **Solar panels that are conspicuous in design.** Thick materials, stark colours and unnecessary design features will detract from the character of the property.
- × **Overcrowding of a roof slope, random or uncoordinated placement.**

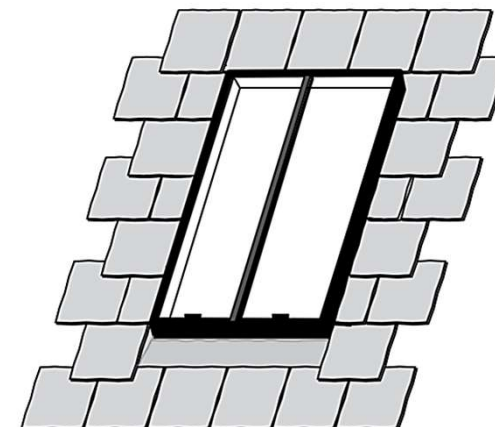


Solar panel designs with invisible wire, black frame, and black backing sheet

5.8 Roof lights

Acceptable:

- ✓ **Traditional 'conservation' type roof lights on the rear elevation.** Three roof lights are usually the maximum allowed. Reproductions of traditional roof lights are available and can look more in keeping than conventional roof lights.



Conservation style roof light

Not Acceptable:

- × **On front and side roof slopes or elsewhere if they adversely affect the street scene.**

What needs planning permission?

Planning permission is needed to:

- build any extension or conservatory;
- to rebuild, enlarge, improve or alter an existing one.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Note:

Front extensions and porches are not supported. The character and unity of the Woodgrange street scene depends on the repetition of a limited range of specific house types. Consequently adding front extensions, porches, and remodelling elevations invariably dilutes this characteristic by introducing alien elements.

- **See other relevant chapters for more specific design guidance.**

Aims:

- 1. Extensions and conservatories must be designed to preserve and enhance the established character of the property and estate in either a traditional or suitably contemporary approach.**
 - a. An external appearance that complements the character of the property and the estate.
 - b. A size and scale that is proportionally sensitive to the main dwellinghouse.
- 2. Extensions and conservatories must be neighbourly in design.**

Justification:

- To preserve and enhance the appearance and character of a property and where applicable, the street scene.
- To preserve and protect the neighbouring private residential environment.

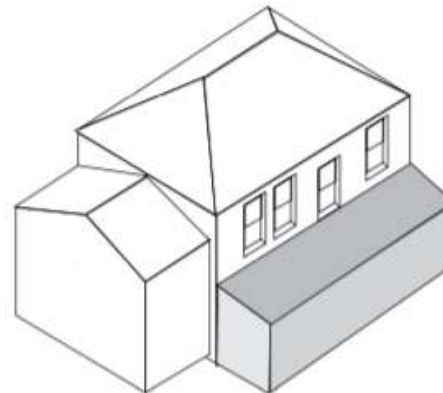
6.1 Rear extensions and conservatories – form, mass and scale

Must:

- **Only ground floor single storey extensions are permitted.** This is to avoid overshadowing, visual intrusion and overlooking of adjacent properties.
- **All roofs must be pitched throughout or be a green flat roof.** A pitched roof complements the style of the property. A pitch less than 20° is unacceptable as it looks too flat. A flat roof is only acceptable if a high quality green roof is proposed.
- **A pitched roof must abut the house below first floor window cill level. If using a flat green roof this should abut the house below the landing window sill.** This prevents extensions looking too dominant. To avoid lower landing windows hip the end of the roof. Alternatively the roof may be dressed around this window or the opening itself raised. Retain and reuse any good landing sash window.
- **The maximum permitted depth of an extension or conservatory to the main part of a triple or double-fronted house is 3m.**

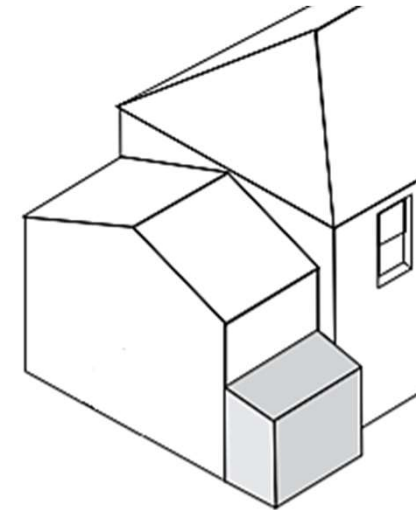
- **In some instances, a full width ground floor extension to the main dwellinghouse may be supported. This is subject to certain conditions being met. The conditions are:**

1. A maximum depth of 3m.
2. Landscaping and biodiversity improvements to the front and rear garden are proposed where applicable.
3. All necessary repairs, maintenance and renovation works to the property are proposed where applicable.

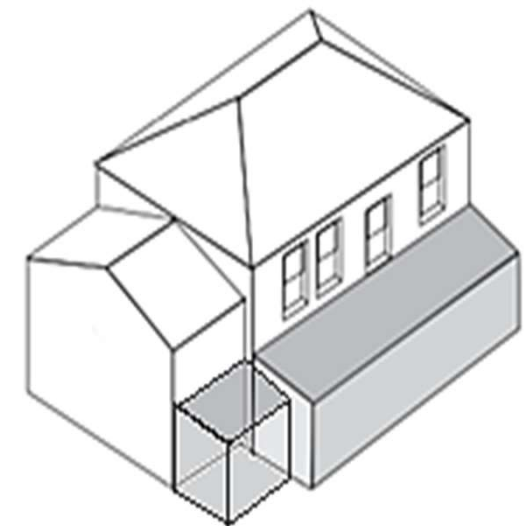


*Full width extension to the main dwellinghouse.
Maximum depth of 3m*

A full width rear extension should be designed to give adequate space to a garden wall for maintenance purposes and to not undermine the structural integrity of the garden wall. Advice from a professional party wall surveyor is encouraged early on in the design stage.



*Extension to an annexe.
Maximum depth of 2.5m*



Extensions to an annexe and the main dwellinghouse

6.2 Side extensions – form, mass and scale

Acceptable:

- ✓ **Single storey side infill extension with a pitched roof.** Where the space between two properties does not have an original annexe, or where space at the side is particularly limited, side additions should be single storey.
- ✓ **First floor addition to an existing annexe.** The property must be of the type that, elsewhere on the estate, has an original annexe.
- ✓ **Single storey side extension to an end of terrace property.** In some circumstances, a single storey side extension that is no greater than the depth of the main dwellinghouse, may be acceptable.
- ✓ **Pitched roof.** A pitched roof complements the style of the property. A pitch less than 20° is unacceptable as it looks too flat.

Not Acceptable:

- × **Two storey side extensions in other locations e.g. ends of terrace or where two single storey annexe adjoin.** This introduces a form, alien to the character of the area, that would be unacceptable.

- × **A flat roof.** A pitched roof complements the style of the property. A pitch less than 20° is unacceptable as it looks too flat.

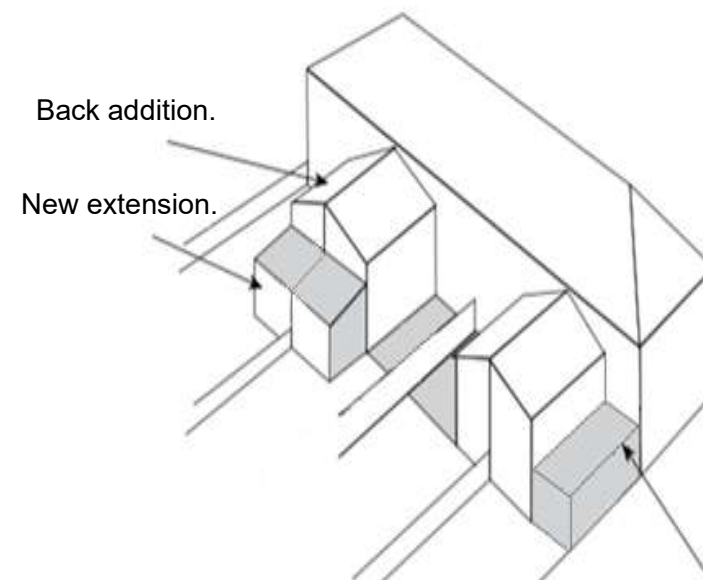
6.3 Rear extensions on terraced houses – form, mass and scale

Acceptable:

- ✓ **Single storey side infill rear extensions with a maximum depth no greater than the existing back addition.** For extensions to be acceptable there would have to be no harm to neighbouring properties or the street scene.
- ✓ **Single storey extensions to a back addition cannot exceed the maximum width of the back addition and 3m in depth.**
- ✓ **All roofs must be pitched throughout or be a green flat roof.** A pitched roof complements the style of the property. A pitch less than 20° is unacceptable as it looks too flat. A flat roof is only acceptable if a high quality green roof is proposed.

Not Acceptable:

- × **L-shaped extensions that encompass the existing back addition.** Such an extension would be an unsympathetic addition to the main dwellinghouse.
- × **A combination of extensions.** More than one form of extension is not supported as too much development would erode the original character of the property.



Side infill rear extension with a maximum depth no greater than the existing back addition.

Extensions to terraced houses

Diagram not drawn to scale

6.4 Rear extensions - design and materials

Designs should complement the traditional Victorian character of the estate. A high quality traditional or contemporary design will be acceptable. Sustainable design is encouraged. All extensions should make reference to the form, proportions, and materials of the original property and wider estate.

Must:

- **Use features and materials that will complement the Victorian character of the estate in a traditional or appropriately contemporary and sustainable way.**

Acceptable:

- ✓ **All brickwork used must match the brickwork of the house.** At the rear this is normally yellow London stocks. These must also be used even if the original brickwork has been rendered, painted or faced in some way. A named brick should be identified at the outset. The best match is achieved using second-hand stocks though new stocks that are dark yellow with ash marks are also acceptable. Further details on brickwork are on Page 41.

- ✓ **Alternative materials will be considered provided they complement the original property and have demonstrable environmental advantages.**
- ✓ **Pitched roofs should be in a natural or artificial slate with a riven finish.**
- ✓ **Flat green roofs should incorporate a parapet with a natural, precast, or brick-on-edge coping.**
- ✓ **Windows and individual window openings should have similar proportions to the main house (taller than rather than wide).**
- ✓ **External pipework should be black. Ogee profile guttering is supported.**

Not Acceptable:

- × **Faced bricks and bricks with a light yellow colour or pink hue.** Such bricks are too bright and do not suitably contrast or complement the character and appearance of the estate.
- × **Compounding historic errors.** There is no advantage to this and if a house has been unacceptably altered, there is always the opportunity for alterations to be corrected (e.g. removing render or low quality windows) within a new proposal.

6.5 Side extensions – design and materials

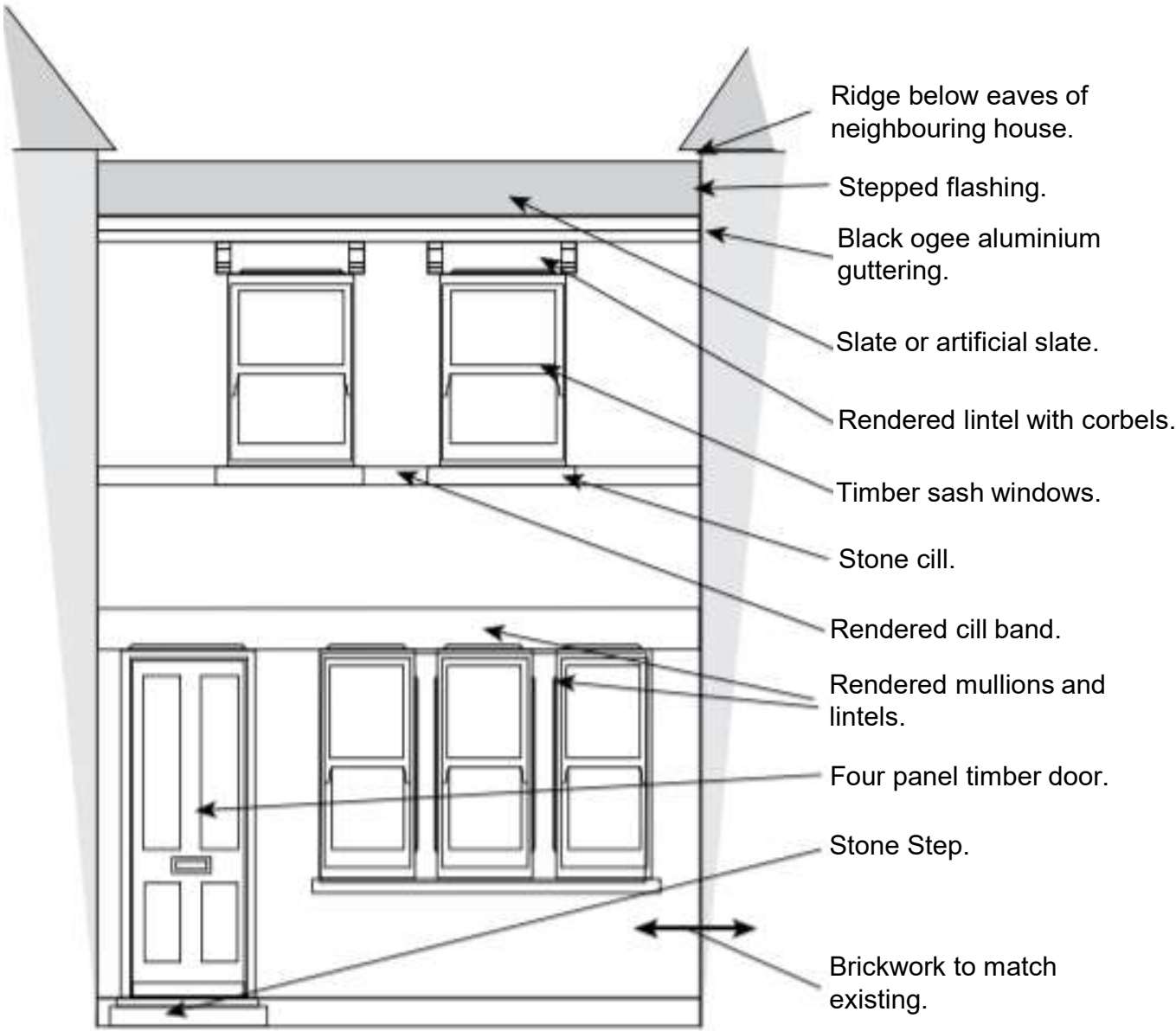
Acceptable:

- ✓ **Single storey and two storey side extensions should replicate the appearance of an original Woodgrange annexe.** Pitched roofs should be in a natural or artificial slate with a riven finish. Brickwork, fenestration and detailing must replicate that of an original annexe elsewhere on the estate. Please see the diagram and photo on Page 35. It may be necessary to rebuild the ground floor if a first floor is to be added. Side extensions should replicate the traditional character of the estate, even if the main house has been altered.

Not Acceptable:

- × **Alternative designs and materials that do not replicate the traditional character of side extensions on the estate.**
- × **Compounding historic errors.** There is no advantage to this and if a house has been unacceptably altered, there is always the opportunity for alterations to be corrected (e.g. removing render or low quality windows) within a new proposal.

6.0 EXTENSIONS AND CONSERVATORIES



Original two storey annexe in Woodgrange

Design of a ground floor and first floor side extension to replicate the appearance of an original Woodgrange annexe

Diagram not drawn to scale

6.0 EXTENSIONS AND CONSERVATORIES

6.6 Conservatories - design and materials

Designs should complement the traditional Victorian character of the estate. A high quality traditional or contemporary design will be acceptable. Sustainable design is encouraged. All conservatories should make reference to the form, proportions, and materials of the original property and wider estate.

Must:

- The use of features and materials that will complement the Victorian character of the estate in a traditional or appropriately contemporary and sustainable way.

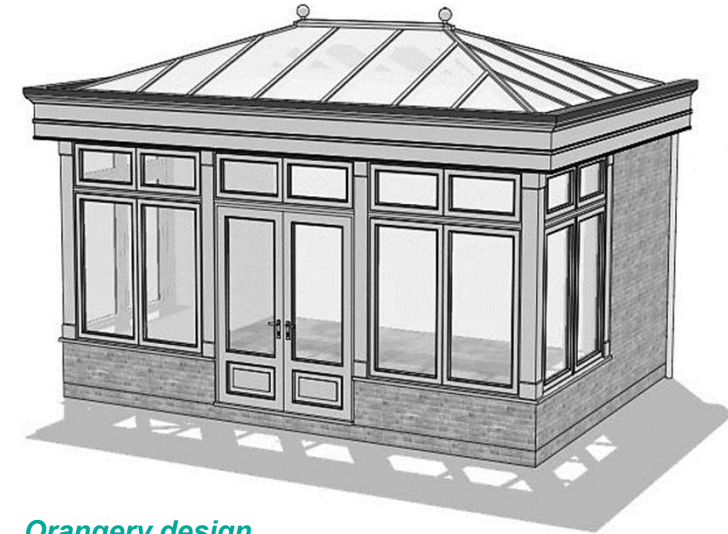
Not Acceptable:

- × **Non-authentic design.** Generic aluminium and UPVC conservatories have wider, flatter frameworks and lack authentic detail.

Acceptable:

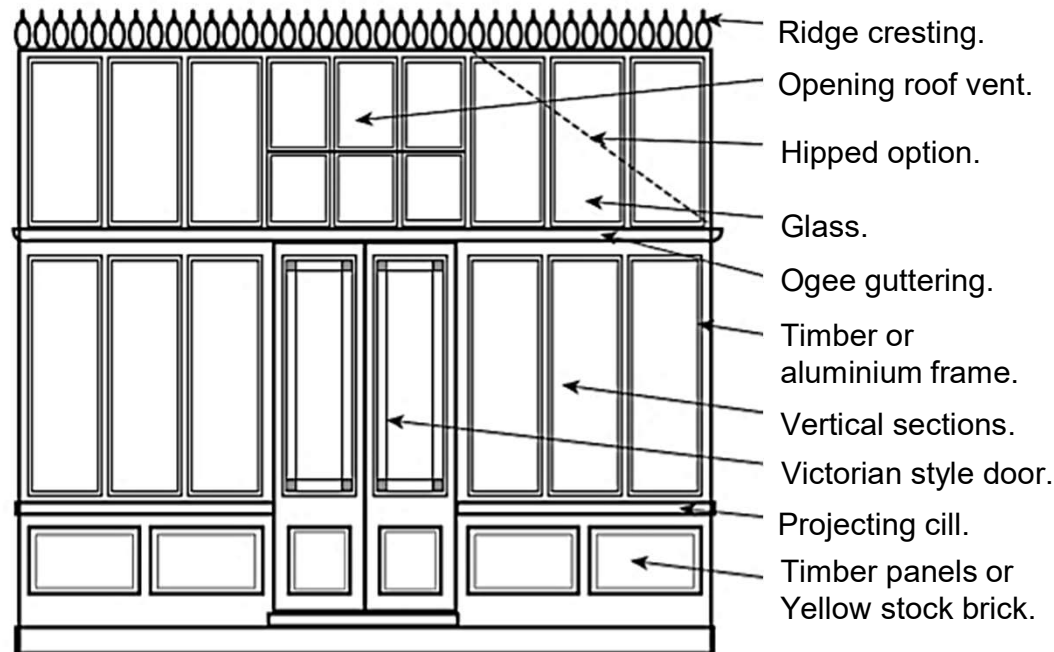
- ✓ **A traditional Victorian conservatory with a timber framework.** This should be painted white or other approved colour. Traditional features include dentil course, ridge cresting and finial. The specific design is shown in the diagram 'Traditional conservatory design' on this page.

- ✓ **Alternative materials and designs will be considered provided they complement the original property and have demonstrable environmental advantages.**
- ✓ **Orangery designs.** An orangery combines elements of a conservatory with a traditional brick extension, as shown in the 'Orangery design' diagram on this page. The form, proportions, and materials of an orangery can be designed to compliment the character of the original property and wider estate. All brickwork used must match the brickwork of the house.



Orangery design

Diagram not drawn to scale



Traditional conservatory design

Diagram not drawn to scale

6.7 Garage conversions

Not Acceptable:

- × **Garages are not an original feature of the estate and are not supported.** In addition, the replacement of an original annexe by a garage is not supported. This is consistent with the Council's position on carriage crossovers and hardstanding for parking, detailed in the chapter titled 'The Street Scene'.
- × **The addition of a residential storey above an existing garage.** This is considered to be out-of-character with the estate and not in keeping with the street scene.
- × **The addition and installation of metal roller shutters on existing garages.**

Acceptable:

- ✓ **The refurbishment of an existing garage.** The use of traditional side hung timber doors, stock brickwork and a pitched roof will improve the appearance of the garage within the street scene. Garage doors must look traditional and unobtrusive. Use timber, matt finishes, and subdued colours. Modern materials, non-traditional patterns and shiny or bright finishes are not supported.

- ✓ **The conversion of a garage to a side extension.** Such development would need to follow guidance on Page 33 and Page 34 for the development of a side extension. Hardstanding must be removed and the lost garden space reinstated with landscaping details submitted in a planning application.

6.8 Subdividing properties

Must:

- **Protect and preserve the original character of the property and the street scene, including the front garden layout.**

Not Acceptable:

- × **The loss of a 3 bedroom home.** As per the Newham Local Plan, the Council will not support a net loss of 3 bedroom homes.
- × **The subdivision of front and/or rear gardens.** Gardens should not be subdivided by walls or fences.
- × **External changes and modifications to a property as a result of the property being subdivided.** This includes additional doors, doorways and windows, and subdivision of gardens.



A converted garage into a single storey side extension



Timber doors improve the appearance of an existing garage

What needs planning permission?

Planning permission is needed to:

- construct, improve or alter gates, fences, walls or other means of enclosure;
- construct pools and buildings, and alter or improve existing pools and garden buildings;
- create a hard surface and/or make an access (entrance) into the garden from the highway (road or path);
- works to trees.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Note:

- **See Page 41 for guidance on brickwork.**
- **See Page 42 for guidance on render, painting, cladding and surface coverings.**

Aims:

- 1. To preserve and enhance the character and features of rear gardens in Woodgrange.**
 - a. Green and leafy gardens.
 - b. Spacious gardens.
 - c. Rear gardens enclosed by stock brick walls which complement the property.
 - d. Maintenance and replacement of lost plants and trees.

Justification:

- Rear gardens in Woodgrange have a distinctive appearance that contribute to the quality of the conservation area.
- Rear gardens can be seen from many neighbouring properties and sometimes from the road. Changes to rear gardens must therefore be in keeping and sensitive to neighbours to not cause harm to neighbouring residential environments.
- Green and leafy gardens support nature by providing refuge and food for birds and other wildlife and increases biodiversity.
- Greenery softens the look of buildings.

7.1 Sheds and outbuildings

Must:

- **The use of features and materials that will complement the Victorian character of the estate in a traditional or appropriately contemporary and sustainable way.**
- **Height:** a single storey and the walls should not exceed 2.4m in height. If a dual pitched roof is proposed, the apex of the roof must not exceed 3.25m.
- **Depth:** a maximum depth of 3m and no greater in width than half the width of the original rear garden. Sheds and outbuildings should be of a suitable size and scale in relation to the garden.
- **Orientation:** orientated so that the longest side runs parallel to the rear boundary, and located in one corner, to minimise visual impact. The boundary corner is preferable.

The position and maximum size of an acceptable rear garden outbuilding is detailed in the diagram on Page 39.

Acceptable:

- ✓ **Constructed from traditional materials.** Including timber, yellow stock bricks, glass and natural or artificial slate for the roof.

- ✓ **Appropriate and traditional paint colours.** In Victorian times exterior woodwork including doors were often painted: green; Bronze Greens; Brunswick Greens; and Purple Brown.
- ✓ **Positioned at least 0.5m away from any boundary (rear and side) to minimise the impact on neighbours and to aid in maintenance and cleaning.** Roofs should not discharge rainwater onto neighbouring properties. Party walls may not be used except by agreement (Party Wall Act 1996).
- ✓ **No net loss in trees, plants and biodiversity.** The proportion and amount of greenery lost should be accounted for and relocated elsewhere in the rear garden.
- ✓ **Only used for purposes incidental to the enjoyment of the main dwelling as a home.** Sheds and outbuildings cannot be used for business purposes or as a self-contained residential unit.



Traditional timber garden shed

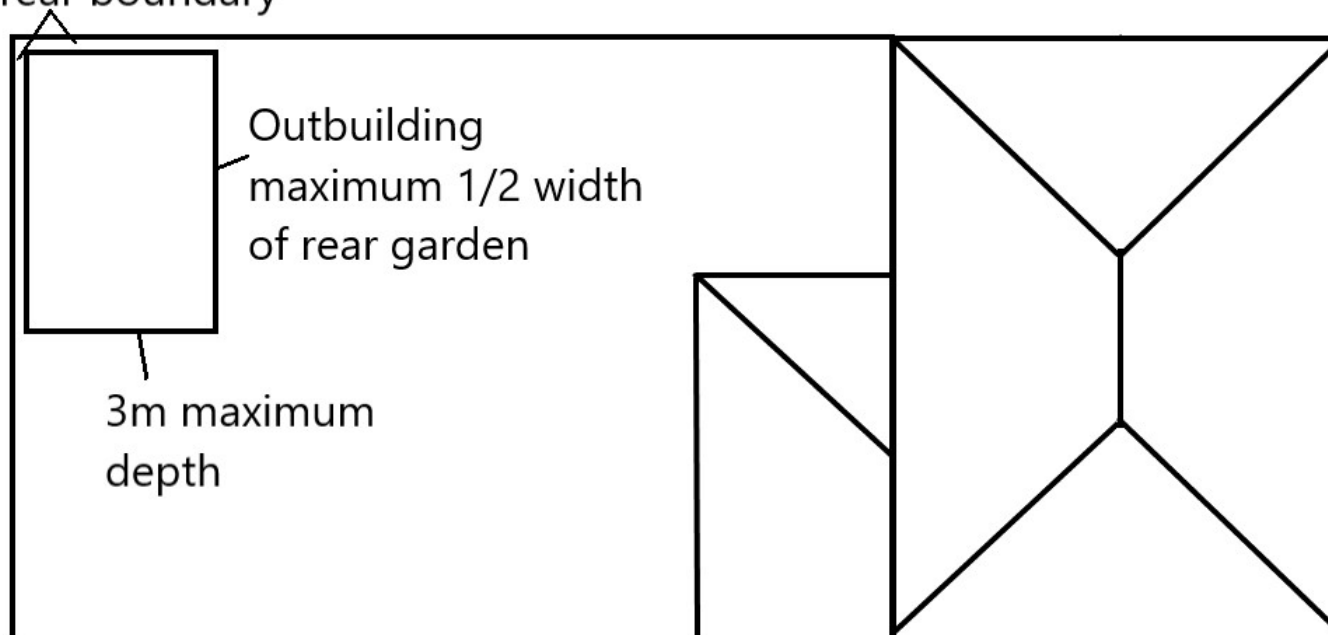
Not Acceptable:

- × **An unduly prominent and dominating shed or outbuilding.** This is detrimental to the visual amenities of neighbouring residents.
- × **A shed or outbuilding should not reduce a garden's sense of spaciousness or reduce the pleasantness of the outlook over the garden.**
- × **A shed or outbuilding should not have a block work or rendered finish.** This is not in keeping with the character and appearance of properties on the estate.



Alternative contemporary outbuilding design with flat green roof

Offset from
side/rear boundary



Plan view of a rear garden showing recommended position and maximum dimensions of an outbuilding

Diagram not drawn to scale

7.2 Side walls and garden walls

Must:

- **New walls and alteration and maintenance works to existing walls must replicate the brickwork patterns and colours found in the area.** Many original garden walls still survive between gardens. Built in London yellow stock bricks they have a distinctive dogtooth course below a brick capping. Properly maintained they provide a robust, long lasting boundary. Repointing should be carried out in a lime rich mortar, as a hard cement mortar can cause bricks to spall. If walls are leaning badly they may require a brick buttress or rebuilding. Use matching materials, designs, and ensure there are adequate footings. They are part of the character of these properties that should be kept.

Acceptable:

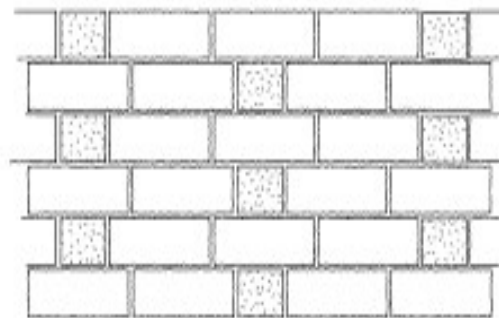
- ✓ **In certain circumstances where a wall does not exist, a high quality and green boundary treatment can be suitable.** A suitable option would be a high quality, robust, panelled timber fence and trellis. This could be on top of a low traditional brick wall, with hedging or climbing plants. Alternatively, openwork with a hedge may be acceptable instead.

Not Acceptable:

- × **Painted walls.**
- × **Very tall walls and fences.**
- × **Low quality fencing and concrete panels.** This is not in keeping with the character and appearance of the area.
- × **The subdivision of gardens.** Where a house is subdivided, rear gardens should not be subdivided by walls or fences.



Traditional Woodgrange rear garden walls



Flemish garden wall bond

7.3 Hard surfaces

Must:

- ✓ **The area covered by hard surfaces in the rear garden cannot exceed 20% of the total rear garden area.** Extensive paving destroys the greenery which is one of the area's most attractive features. Hard surfaces can also result in heavy run off during rain, bridge damp proof courses, and accentuate noise.
- ✓ **Any new hard surface must have a porous sub-base.**

Acceptable:

- ✓ **Alternative soft landscaping measures to reduce gardening requirements.** Plant shrubs and use mulch to suppress weeds. Both can reduce garden maintenance times and require little attention.



A green rear garden in Woodgrange

What needs planning permission?

Planning permission is needed for most alterations and new building works that alter the external appearance of the property. This includes:

- any new brickwork and altering existing brickwork to the front and rear of a property;
- any new external wall surface coverings to the front and rear of a property;
- the development of a basement;
- any new external fixtures or fittings to the building or within the site.

Planning applications will be assessed against the relevant design principle(s) detailed on Page 6. These principles are:

- **The conservation principle.**
- **The like-for-like principle.**
- **The street scene principle.**

Aims:

1. **To preserve and enhance the character and appearance of a property.**
2. **To protect the character of the street scene.**

Justification:

- Attractive visual features, such as brickwork, make a significant and distinctive contribution to the character of Woodgrange properties and the area collectively.
- The original character and detail of a property can be greatly reduced by the addition of render, paint, cladding and surface coverings.
- Without careful placement and consideration, features such as meter boxes, satellite dishes and air source heat pumps can detract from the appearance of the street scene.

8.1 Brickwork

Acceptable:

- ✓ **Repair, restore and keep original brickwork.** Three brick types exist in Woodgrange. Keeping to this limited range of brick colours and types will help preserve the identity and unity of the estate. Brickwork also acts as a background against which stucco features are highlighted. It is important, therefore, to preserve brickwork and match new brickwork to old. Second-hand bricks, being weathered, provide the closest match. If using new bricks, darker yellow stocks with black ash marks will provide a satisfactory match.
- **Yellow 'London stocks'.** Used for many front walls but also for the side and rear of virtually all properties irrespective of the brick colour of the front.
- **Gault, a smooth cream brick.**
- **Red stocks.**



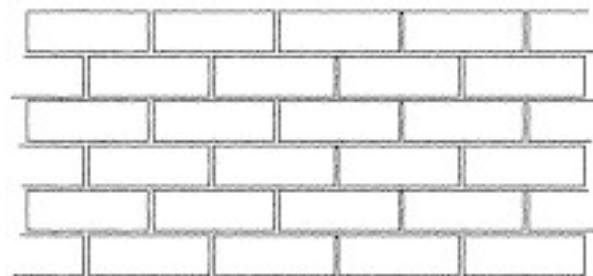
New London Stock bricks



Reclaimed London Stock bricks

- ✓ **Using a 'Flemish Bond'.** Stepped rows of alternate 'headers' and 'stretchers'. This can be reproduced in cavity wall construction by using snap headers (half bricks). To be used for front elevation works, side extensions, rear extensions, and rear garden boundary walls.
- ✓ **Original and slightly recessed pointing.** Pointing has a big effect on the look of brickwork so use the original type: a straw coloured, fairly flexible mix set almost flush with the brick.

Note: When choosing a new brick, match a sample against your existing brickwork before ordering. You will need to provide a specific name of brick for planning permission on your proposed plans with specification details. This also gives you an early idea of costs.



Stretcher bond: the modern cheaper method for cavity walls. Only acceptable for rear extensions

Not Acceptable:

- × **Bright yellow or pink toned bricks.**
- × **Sand-faced bricks are not permitted.** They lack the colours and qualities required. Stocks may cost a little more but add relatively little to the total cost (as the main cost is labour) and produce a better looking and lasting end result.
- × **Water repellents.** If rainwater is penetrating your brickwork, correct the cause (e.g. defective gutters, downpipes, ineffective drip-grooves on cills) then repair, rather than applying water repellents. Repellents can deteriorate leaving patchy surfaces that require retreating. It is generally advised not to apply them to decayed surfaces.
- × **Weather struck pointing.** It can look too prominent and modern, hard cements cause softer bricks to spall.
- × **Stretcher bond.** It is a modern and cheaper method for cavity walls. In some situations it may be acceptable only for a rear extension.



Bricks with an unacceptable appearance

8.2 Render, painting, cladding and surface coverings

Not Acceptable:

- × **Covering brickwork in paint, cladding, pebbledash, render or any other surface treatment.** This will completely destroy both its aesthetic and practical advantages. The beauty of the brickwork, original detail and the character of the area will be lost. Most coverings prevent bricks from 'breathing' effectively i.e. letting absorbed rainwater evaporate from the brickwork. All houses move a little, causing small cracks in a covering. These will let in rain. However once underneath the covering, rain cannot easily evaporate. This may cause damp inside the house and/or the covering to peel or fall off. In addition, all coverings, particularly paint, involve much greater maintenance than brickwork.
- × **Repainting with bright or garish colours or textured paint.**

Acceptable:

- ✓ **Removing paint and render.**
- ✓ **If you need to re-render use a lime rich plaster.** This will flex and breathe better than a hard cement render.

- ✓ **Cleaning brickwork rather than repainting outside walls.** Cleaning can revive original colours and contrasts. An effective and safe clean can be made by scrubbing down with water and soft bristle or non-ferrous brushes.
- ✓ **If repainting render choose a porous paint with a matt finish (not gloss) and a colour that will complement neighbouring brickwork.** For example choose a cream paint colour to match gault and matt red where red stocks are close by. This is especially important in terraces.

8.3 Satellite dishes

Acceptable:

- ✓ **A single, discreetly positioned and correctly sized satellite dish.** Planning permission to install a satellite dish on a property that is a flat or a single 'family' house is required if the dish would be:
 - Larger than 70cm in diameter or 45cm if installed on a chimney;
 - Sited on a wall or roof slope facing on to a road or public footpath;
 - Sited on a building taller than 15m;
 - Higher than the ridge of your roof (e.g. on a chimney);
 - Is the second or subsequent dish on the house/garden.

- ✓ **You may install one without permission in other locations so long as it is sited to minimise its effect on the external appearance of the building.** If possible install them at the rear of the property in your garden or on a rear chimney stack not visible from the street. If they must be installed at the front, place them on side walls above an annexe or alleyway or in an inconspicuous spot. A mesh or coloured dish may be less obvious. Remove once redundant.

Not Acceptable:

- × **Satellite dishes in prominent locations and evident from the street.**

8.4 Meter boxes

Acceptable:

- ✓ **Located either out of sight on return walls (not in porches) or within the house.** Any outside box must be of the semi concealed type, made less noticeable by its dark colour and being set partly within the ground.

Not Acceptable:

- × **White meter boxes placed on the front of a house.** They detract from its appearance.

8.5 Basements

Acceptable:

- ✓ **A suitably sized basement.**
- ✓ **Above ground development such as sky lights, roof lanterns, light wells and stair wells are only acceptable in the rear garden, subject to the following conditions:**
 - Cause no unacceptable harm to the character and appearance of the rear garden or property.
 - Cause no unacceptable loss of biodiversity and green space.

Not Acceptable:

- × **Large-scale basement excavations where development unacceptably impacts the character and appearance of the rear garden and property.**
- × **Above ground development such as sky lights, roof lanterns, light wells and stair wells in the front garden.** Development of this kind would cause harm to the character of the street scene and the character of the property.

8.6 Air source heat pump

Must:

- **A single, discreetly positioned and correctly sized air source heat pump unit.**
- **Sited, so far as is practicable, to minimise its effect on the external appearance of the building and its effect on the street scene.**
- **Removed as soon as reasonably practicable when it is no longer needed.**
- **All parts of the air source heat pump must be at least 1 metre from the property boundary.**

Not Acceptable:

- × **Installed on a wall or roof which fronts a street or be nearer to any street which bounds the property than any part of the building.**

8.7 Retrofitting your home

Responding to the climate emergency is a Council priority. Retrofit is the process of improving the energy and environmental performance of buildings through technical interventions.

Where a proposal alters the external appearance of the property, it should minimise and avoid any visual impact through siting, design and specification.

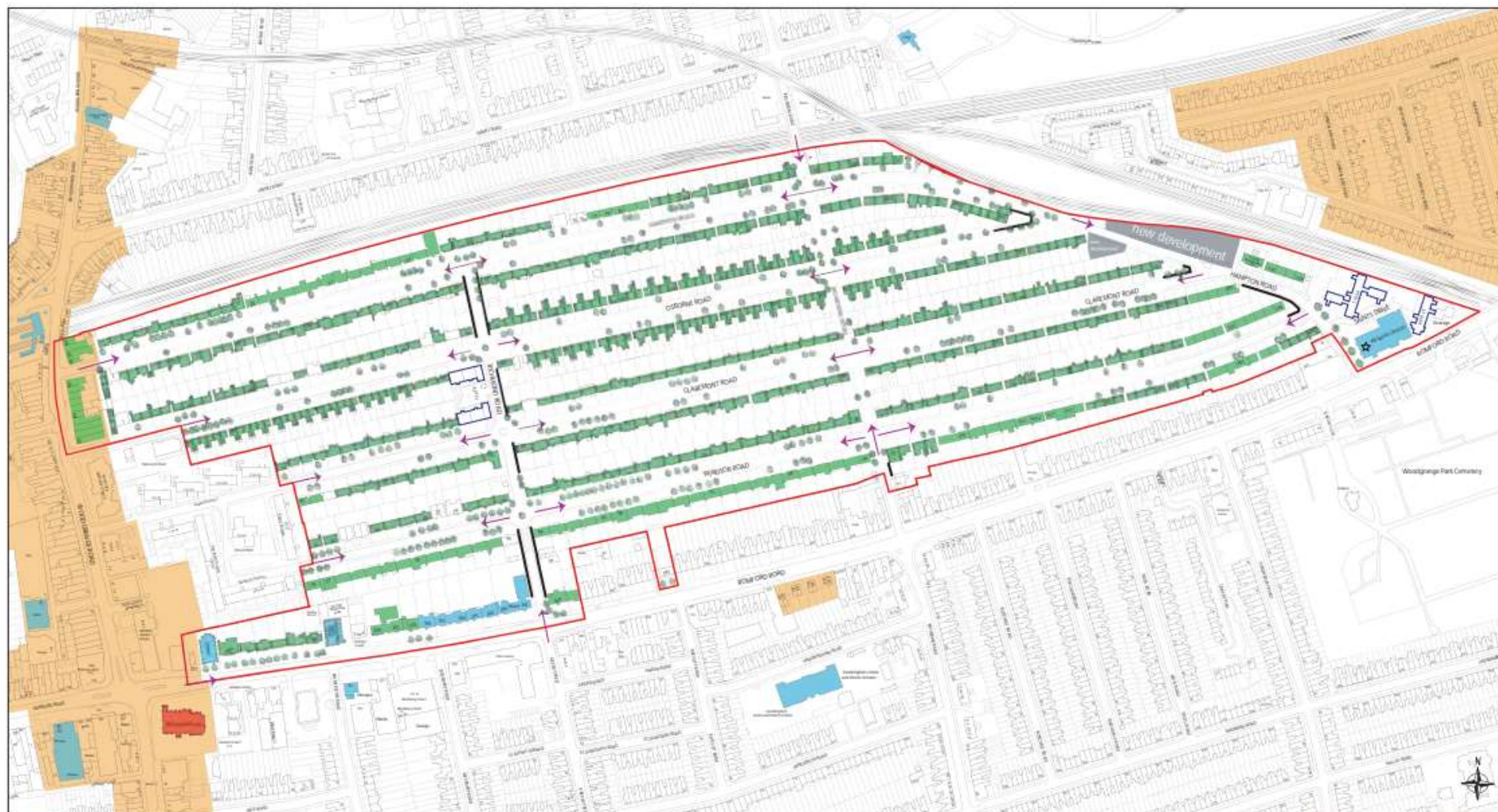
Advice and guidance on retrofitting your home can be found on the Historic England website:

- <https://historicengland.org.uk/images-books/publications/planning-responsible-retrofit-of-traditional-buildings/responsible-retrofit-trad-bldgs>
- <https://historicengland.org.uk/advice/technical-advice/energy-efficiency-and-historic-buildings>

Government advice on making energy-saving improvements to your home:

- <https://www.gov.uk/green-deal-energy-saving-measures>

Appendix 1: Map of Woodgrange Conservation Area.



© Crown copyright. All rights reserved. LB Newham LA086517 2002

Woodgrange Estate Conservation Area

- | | | |
|-------------------|-----------------------------|----------------------------|
| Conservation Area | Adjacent Conservation Area | Key views |
| Listed Building | Buildings of Local Interest | Significant boundary walls |
| Positive Building | Significant Trees | Focal buildings |
| Negative Building | Embankment | |

Appendix 2: Design content comparison between the Altering and Extending Your Home SPD and Woodgrange Conservation Area Design Guide.

Where the Design Guide provides additional detail relevant to the Woodgrange estate beyond the Altering and Extending Your Home SPD.		
Type of development	Altering and Extending Your Home SPD	Woodgrange Conservation Area Design Guide
Street scene and front of the property	<ul style="list-style-type: none"> That any works to the front of your property should seek to complement and enhance the original character of your home and the wider street scene. 	<ul style="list-style-type: none"> Proposals affecting the street scene are more tightly regulated and greater priority is given to the preservation and enhancement of the street scene. Detail is given for preserving and reinstating the original garden appearance. Additional information is given on maintenance and repair works and retaining and repairing historic features. Additional detailed guidance on specific features of front properties including doors and windows.
Extensions and conservatories	<ul style="list-style-type: none"> Replicate the style, design and detailing of the original house. Reinstate any lost original architectural details. In some instances, particularly where the street scene will not be affected, high quality contemporary extensions design solutions may be appropriate. Materials of the highest quality to complement or appropriately contrast to the original house. Any new extension should be subservient to the original house. Neighbourly development considerations. 	<ul style="list-style-type: none"> Additional information is included so that extensions and conservatories support the preservation and enhancement of the established character of the property and estate. Specific scale, mass and design guidance given for different types of extensions, including conservatories, and for different dwellinghouse typologies. Details on what is unsupported is also provided.
Roof alterations	<ul style="list-style-type: none"> Roof pitches and slopes on new extensions should match the original house where practicable. Preserve the character of the original house by maintaining street facing roof slopes, ridge lines and chimneys. Parapet walls and eaves should be retained where practicable. 	<ul style="list-style-type: none"> Specific design criteria for roof designs to new extensions. Specific guidance on supported and unsupported roof level alterations to preserve and enhance original roof characteristics.

Appendix 2 (continued)

Where the Design Guide provides additional detail relevant to the Woodgrange estate beyond the Altering and Extending Your Home SPD.		
Type of development	Altering and Extending Your Home SPD	Woodgrange Conservation Area Design Guide
Outbuildings	<ul style="list-style-type: none"> All outbuildings should be small in scale, built from high quality materials and maintain the openness and outlook of the rear garden. 	<ul style="list-style-type: none"> Specific design criteria for the scale, mass, design and position of an outbuilding to preserve and enhance the character and features of rear gardens in Woodgrange.
Delivering Sustainability	<ul style="list-style-type: none"> Any proposed extension or alteration to your home promotes and enhances biodiversity. Established trees, hedges and other natural features should be preserved, relocated or their loss appropriately mitigated. Extensions should be energy efficient and incorporate renewable energy sources where practicable. All new paving, driveways and patio areas should be constructed from permeable materials or incorporate sustainable urban drainage techniques. 	<ul style="list-style-type: none"> Specific and additional guidance on how to promote and improve biodiversity; information and guidance on trees that are protected in Woodgrange; and how sustainable design solutions can be appropriate in Woodgrange.

Appendix 3: List of trees suitable for small gardens. Source: Royal Horticultural Society (2022)

<https://www.rhs.org.uk/plants/types/trees/smaller-gardens>

Please note this is not an exhaustive list. other suitable fruit, flowering, scented, evergreen and weeping trees are detailed on the Royal Horticultural Society website.

KEY

(*) Suitable for neutral to acid soils

(v) Variegated foliage

AGM The RHS Award of Garden Merit

Heights are approximate. Location in the British, soil conditions and prevailing weather will influence ultimate height.

Trees under 5m (16ft) in height

Amelanchier alnifolia 'Obelisk': (*) Height 4m (13ft). Spread 1m (3ft)

Cercis canadensis 'Forest Pansy': Height 4-5m (13-16ft). Spread 3m (10ft)

C. chinensis 'Avondale': Height 3m (10ft). Spread 2m (6½ft)

Cornus kousa 'Miss Satomi' AGM: (*) Height 5m (16ft). Spread 3m (10ft)

Euonymus europaeus 'Red Cascade' AGM: Height 3m (10ft). Spread 2.5m (8ft)

Corylus maxima 'Purpurea': Height 5m (16ft). Spread 3m (10ft)

Liquidambar styraciflua 'Gum Ball' AGM: (*) Height 3m (10ft). Spread 2m (6½ft)

Magnolia stellata 'Jane Platt' AGM: Height 3-4m (10-13ft). Spread 2.5m (8ft)

Prunus 'Hally Jolivette': Height 5m (16ft). Spread 2-3m (6½-10ft)

Ptelea trifoliata 'Aurea' AGM: Height 5m (16ft). Spread 4m (13ft)

Salix exigua AGM: Height and spread 4m (13ft)

Sorbus pseudovilmorinii: Height and spread 4m (13ft)

S. villmorinii AGM: (*) Height 5m (16ft). Spread 4m (13ft)

Ornamental cherries – flowering in spring

Prunus 'Kiku-shidare-zakura' AGM: clear, deep pink, very double flowers

P. pendula f. ascendens 'Pendula Rosea': single rose pink flowers

P. pendula 'Pendula Rubra' AGM: single, deep rose flowers

P. pendula 'Stellata' AGM: pale pink flowers from red buds

P. × yedoensis 'Ivensii': snow-white fragrant blossom

P. × yedoensis 'Shidare Yoshino': pale pink flowers

Spring flowering trees

Aesculus × mutabilis 'Induta': panicles of yellow flowers, flushed pink, late spring. Height and spread 3m (10ft)

Amelanchier × grandiflora 'Ballerina': White flower racemes, mid spring. Height 5-6m (16-20ft). Spread 6-7m (20-23ft)

Cercis canadensis f. alba 'Royal White': profuse, large white flower clusters on bare stems, before the leaves. Height 8m (26ft). Spread 5m (16ft)

Crataegus laevigata 'Paul's Scarlet' AGM: double scarlet flowers, late spring. Height and spread 8m (26ft)

C. laevigata 'Punicea': scarlet flowers with a white eye, late spring. Height and spread 8m (26ft)

Exochorda serratifolia 'Snow White': showy, papery white flowers, late spring or early summer. Height and spread 3-4m (10-13ft)

Genista aetnensis AGM: bright golden-yellow flowers Height and spread 4-5m (13-16ft)

Appendix 3 (continued)

Hamamelis × intermedia 'Arnold Promise' AGM: (*) sweetly scented bright-yellow spidery flowers

H. × intermedia 'Jelena' AGM: (*) yellow suffused copper-red spidery flowers

H. × intermedia 'Pallida' AGM: (*) sulphur-yellow spidery flowers

H. × intermedia 'Rubin' AGM: (*) bright-red spidery flowers

H. mollis 'Wisley Supreme' AGM: (*) large fragrant pale-yellow spidery flowers

Hoheria 'Glory of Amlwch' AGM: large white flowers in mid and late summer. Height 7m (23ft). Spread 6m (20ft)

Lagerstroemia indica AGM: white, pink, red or purple flowers depending on cultivar. Height and spread 3-5m (10-16ft)

Magnolia 'Jane': very slender, red-purple flowers, late spring. Height 4m (13ft). Spread 3m (10ft)

M. × loebneri 'Leonard Messel' AGM: lilac-pink flowers, mid-spring. Height 8m (26ft). Spread 5m (16ft)

M. 'Star Wars' AGM: deep pink flowers in spring before and with the leaves. Height and spread 6m (20ft)

M. stellata 'Jane Platt' AGM: rich pink flowers, early and mid-spring. Height and spread 3m (10ft)

M. 'Susan' AGM: red-purple flowers, mid-spring. Height 4m (13ft). Spread 3m (10ft)

M. wilsonii AGM: cup-shaped white flowers with purple stamens, late spring and early summer. Height 5-6m (16-20ft). Spread 4-5m (13-16ft)

Malus 'Evereste' AGM: white flowers from red buds, mid-spring. Height and spread 6-8m (20-26ft).

M. floribunda AGM: crimson flower buds open white, early spring. Height and spread 6-8m (20-26ft).

M. 'Gorgeous': pink flower buds open white, mid-spring. Height and spread 6-8m (20-26ft)

M. 'Laura' AGM: pink flushed flowers, mid-spring. Height and spread 3m (10ft)

M. 'Indian Magic': dark red buds open to large deep-pink flowers, mid-spring. Height and spread 4-5m (13-15ft)

Prunus 'Accolade' AGM: clusters of semi-double shell-pink flowers from dark buds, early spring. Height and spread 5-8m (16-26ft)

P. × blireana AGM: rose-pink flowers before and with the leaves, early spring. Height and spread 4m (13ft)

P. dulcis: (almond) single pink or white flowers, early spring. Height and spread 6-8m (20-26ft)

P. 'The Bride' AGM: pure white blossom, mid-spring. Height and spread 3-4m (10-13ft)

P. 'Hanagasa' AGM: (Pink Parasol) pendulous, double pale pink flowers, late spring. Height and spread 8m (26ft)

P. 'Pink Perfection' AGM: rosy-pink double flowers in drooping clusters, mid-late spring. Height and spread 6m (20ft)

P. 'Pink Shell': profuse delicate shell-pink flowers, early mid-spring. Height and spread 6m (20ft)

Syringa vulgaris 'Andenken an Ludwig Spath' AGM: wine-red single flowers

S. vulgaris 'Katherine Havermeyer' AGM: purple-lilac double flowers

S. vulgaris 'Krasavitsa Moskv': ('Beauty of Moscow') pink buds open to blush-white double flowers

S. vulgaris 'Madame Lemoine' AGM: large clusters of white double flowers

S. vulgaris 'Primrose': small pale yellow single flowers